



City of Littleton

Littleton Center
2255 West Berry Avenue
Littleton, CO 80120

Meeting Agenda - Final City Council

Tuesday, June 16, 2026

6:30 PM

Council Chamber

Regular Meeting

1. Roll Call

2. Pledge of Allegiance

3. Approval of Agenda

4. Scheduled Appearances and Presentations - None

- a) Guest Citizens

- b) Scheduled Public Presentations

5. Proclamations - None

6. Public Comment

If you wish to address city council under Public Comment, please sign-in on the public speaker form before the call to order for this meeting. Public Comment is an opportunity to express opinions regarding issues that are not part of public hearings on tonight's agenda; a separate opportunity will be provided for comment for any public hearing. Each speaker is limited to three (3) minutes. We expect comments to be civil. Disrespectful or disruptive behavior will not be tolerated. The city council is not authorized under the Colorado Open Meetings Law to discuss, comment, or take action at this meeting on any issue raised by public comment that is not part of tonight's agenda. The Mayor may refer the matter to the city manager and/or city attorney for immediate comment after Public Comment, or to staff to obtain additional information and report back to council as appropriate.

7. Comments / Reports

- a) Council Members

- b) Mayor

- c) City Manager

- d) City Attorney

8. Consent Agenda Items

Consent agenda items can be adopted by a simple motion. All ordinances must be read by title prior to a vote on the motion. Any consent agenda item may be removed at the request of a council member.

- a) [Resolution 23-2026](#) Resolution 23-2026: Authorizing assignment of the city's private activity bond allocation for 2026 to the Housing Authority of the City of Littleton, Colorado d/b/a South Metro Housing Options
- Attachments:** [1. Resolution No. 23-2026](#)
[2. COL Certificate re Volume Cap \(2026 PAB Assignment to SMHO\)](#)
[3. Assignment of Allocation - Littleton to SMHO \(2026 PAB\)](#)
- b) [Resolution 47-2026](#) Resolution 47-2026: Approving a Construction Contract with West Fork Construction for the Euclid Avenue Improvements Phase 2: Cherokee Street to Broadway Project, City Project No. 26-07
- Attachments:** [1. Resolution No. 47-2026](#)
[2. Contract West Fork Construction, LLC](#)
- c) [Ordinance 15-2026](#) Ordinance 15-2026: An ordinance on first reading approving Landmark Designation of 6777 Southridge Lane, also known as the Pray-Parsons House
- Attachments:** [1. Ordinance No. 15-2026](#)
[2. HPC Resolution 02-2026 Signed](#)
[3. Staff Report](#)
[4. Local Landmark Nomination](#)
- d) [Resolution 46-2026](#) Resolution 46-2026: Approving a funding request for South Metro Housing Option's Starlight affordable housing project
- Attachments:** [1. Resolution No. 46-2026](#)
[2. SMHO Starlight Funding Request Signed](#)
- e) [ID# 26-131](#) Motion authorizing the Mayor's Signature on a Letter of Support for development of the Front Range Passenger Rail District Station at Mineral Station in Littleton, Colorado
- Attachments:** [1. FRPR Letter of Support](#)
[2. FRPR Summary Littleton_FINAL](#)
- f) [Resolution 42-2026](#) Resolution 42-2026: Approving an Intergovernmental Agreement between School District Number 6, Arapahoe County, Colorado D/B/A Littleton Public Schools and the City of Littleton for School Resource Officers
- Attachments:** [1. Resolution No. 42-2026](#)
[2. Intergovernmental Agreement LPS & LPD](#)
- g) [ID# 26-135](#) Motion to approve minutes of the June 2, 2026, regular meeting and June 9, 2026 special meeting of Littleton City Council

- Attachments:** [1. 06-02-2026 CC Minutes_DRAFT](#)
 [2. 06-09-2026 CC Minutes_DRAFT](#)

9. General Business

- a) [ID# 26-118](#) City Workspace Expansion Proposal

Attachments: [1. Presentation_City Workspace Planning](#)

- b) [ID# 26-134](#) 2026 Budget Update and 2027 Budget Process overview and Policy Goals Discussion

Attachments: [1. Presentation_Budget Update](#)

10. Ordinances on Second Reading and Public Hearings

Speakers wishing to address council as part of a public hearing will be limited to three (3) minutes and will be called upon when the mayor opens the public comment portion of the hearing.

- a) [Ordinance
16-2026](#) Ordinance 16-2026: An ordinance on second reading amending Title 4, Building Regulations, Chapter 1 Building Codes, by adding Section (B) (33) Single Exit for Group R-2 Buildings

Attachments: [1. Ordinance No. 16-2026](#)
 [2. Presentation_Ord. 16-2026](#)

11. Adjournment

The public is invited to attend all regular meetings or study sessions of the city council or any city board, commission, or committee. Please call 303-795-3780 at least 48 hours prior to the meeting if you believe you will need special assistance or any reasonable accommodation in order to attend, or participate in, any such meeting. For any additional information concerning city meetings, please call the city clerk's office at the above referenced number.



Staff Communication

File #: Resolution 23-2026, **Version:** 1

Agenda Date: 06/16/2026

Subject:

Resolution 23-2026: Authorizing assignment of the city's private activity bond allocation for 2026 to the Housing Authority of the City of Littleton, Colorado d/b/a South Metro Housing Options

From:	James L. Becklenberg, City Manager
Prepared by:	Julie Latham, Housing Policy Analyst Kathleen Osher, Deputy City Manager
Presentations:	N/A

PURPOSE:

To assign the Private Activity Bond allocation to South Metro Housing Options

LONG-TERM OUTCOME(S) SERVED:

Robust and Resilient Economy

DISCUSSION:

Starting in 2025, City Council began the process of annually assigning the allocation of Private Activity Bonds (PABs) to South Metro Housing Options (SMHO), Littleton's housing authority by resolution.

BACKGROUND:

Private Activity Bonds had been a historically underutilized tool, with the city relinquishing its balance to the statewide balance for the fifteen years prior to 2025. Littleton's PAB allocation for 2026 is \$3,162,447.

Private Activity Bonds are tax-exempt bonds that offer low-cost financing for private projects serving a public purpose. The city is allocated funds on an annual basis that can be used to support projects. Unlike typical municipal bonds, PABs do not require the city to repay investors. Eligible uses include affordable multifamily rental housing, single-family mortgage revenue bonds, mortgage credit certificates, industrial development bonds for smaller manufacturing projects, qualified redevelopment bonds for blighted areas, and solid waste disposal bonds. Multifamily rental housing is the only PAB use that unlocks additional federal funding via the 4% Low Income Housing Tax Credit. Interest paid to bondholders is exempt from federal income tax, resulting in lower costs. Options for allocation are issuance, carryforward, relinquish to the statewide balance, or assign to a qualified issuer to support a project.

Prior Actions or Discussions

June 3, 2025 - City Council adopted Resolution 56-2025: Authorizing assignment of the city's private activity bond allocation for 2025 to the Housing Authority of the City of Littleton, Colorado dba South Metro Housing Options

May 27, 2025 - City Council study session providing direction to assign Private Activity Bonds annually to

SMHO.

FISCAL IMPACTS:

N/A

STAFF RECOMMENDATION:

Staff recommend council assign Littleton's PAB balance to SMHO.

ALTERNATIVES:

1. Issue Bonds
2. Carryforward for up to 3 years
3. Assign PAB cap to another issuer (i.e., Other local governments, housing authorities, Colorado Housing and Finance Authority)
4. Do nothing: Relinquish to the Statewide Balance for DOLA to distribute

PROPOSED MOTION:

I move to approve Resolution 23-2026 authorizing assignment of the city's private activity bond allocation for 2026 to the Housing Authority of the City of Littleton, Colorado d/b/a South Metro Housing Options.

1 CITY OF LITTLETON, COLORADO

2
3 Resolution No. 23

4
5 Series, 2026

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7 A RESOLUTION AUTHORIZING THE ASSIGNMENT OF THE CITY'S
8 PRIVATE ACTIVITY BOND ALLOCATION FOR 2026 TO THE HOUSING
9 AUTHORITY OF THE CITY OF LITTLETON, COLORADO D/B/A SOUTH
10 METRO HOUSING OPTIONS; PROVIDING OTHER DETAILS IN
11 CONNECTION THEREWITH; AND PROVIDING AN EFFECTIVE DATE
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13 WHEREAS, pursuant to the Private Activity Bond Ceiling Act, constituting Title 24,
14 Article 32, Part 17, Colorado Revised Statutes (the "Allocation Act"), the City of Littleton,
15 Colorado (the "City") has received a direct allocation of the State of Colorado's Private Activity
16 Bond Ceiling for the year 2026 (the "2026 Allocation") in the amount of \$3,162,447; and

17 WHEREAS, the Housing Authority of the City of Littleton, Colorado South Metro
18 Housing Options (the "Authority") has requested that the City assign all of the d/b/a 2026
19 Allocation equal to \$3,162,447 (the "Assigned Allocation") to the Authority pursuant to Section
20 24-32-1706 of the Allocation Act to be used to issue bonds to finance qualified residential rental
21 projects; and

22 WHEREAS, the City desires to assign the Assigned Allocation to the Authority; and

23 WHEREAS, there has been presented to the City Council of the City (the "Council") the
24 form of an Assignment of Allocation between the City and the Authority (the "Assignment").

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26 NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF
27 THE CITY OF LITTLETON, COLORADO, THAT:

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29 Section 1. Authorization of Assignment. The City hereby authorizes the assignment
30 of the Assigned Allocation to the Authority for use as described above.

31 Section 2. Approval of Assignment of Allocation. The form, terms and provisions of
32 the Assignment hereby are approved and the Mayor, the City Manager and other proper officials
33 of the City hereby are authorized and directed to execute (by manual or electronic signature) and
34 deliver the Assignment, with such changes therein as are approved by the officers of the City
35 executing the Assignment. The execution of the Assignment shall be conclusive evidence of the
36 approval by the City of such document in accordance with the terms hereof.

37 Section 3. Further Action. The officers of the City shall take such other steps or
38 actions necessary or reasonably required to carry out the terms and intent of this resolution and
39 the Assignment, including any amendments thereto and certificates not inconsistent with this
40 resolution.

41 **Section 4.** Ratification. All action not inconsistent with the provisions of this
42 resolution heretofore taken by the Council and the officers of the City directed toward the
43 assignment of the Assigned Allocation and the authorization of the Assignment hereby are
44 ratified, approved and confirmed.

45 **Section 5.** Severability. If any section, paragraph, clause or provision of this
46 resolution shall for any reason be held to be invalid or unenforceable, the invalidity or
47 unenforceability of such section, paragraph, clause or provision shall not affect any of the
48 remaining provisions of this resolution, the intent being that the same are severable.

49 **Section 6.** Repealer. All orders, resolutions, bylaws, ordinances or regulations of the
50 City, or parts thereof, inconsistent with this resolution are hereby repealed to the extent only of
51 such inconsistency.

52 **Section 7.** Effective Date. This resolution shall be in full force and effect upon its
53 passage and approval.
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56 INTRODUCED, READ, AND ADOPTED at a regularly scheduled meeting of the
57 City Council of the City of Littleton, Colorado, on the 16th day of June 2026, at 6:30 p.m. at the
58 Littleton Center, 2255 West Berry Avenue, Littleton, Colorado.

59
60 ATTEST:

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62 _____
63 Colleen L. Norton
64 CITY CLERK

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66 _____
67 Kyle Schlachter
68 MAYOR

66 APPROVED AS TO FORM:
67
68 _____
69 Reid Betzing
70 CITY ATTORNEY



CERTIFICATE OF THE CITY OF LITTLETON, COLORADO
CONCERNING ASSIGNMENT OF
2026 PRIVATE ACTIVITY BOND VOLUME CAP ALLOCATION
TO THE HOUSING AUTHORITY OF THE CITY OF LITTLETON

I, the undersigned, hereby certify as of _____, 2026 that I am the duly chosen, qualified and acting Mayor of the City of Littleton, Colorado (the “City”), and that:

1. The City is a public body corporate and politic and political subdivision, duly organized and existing under the constitution and laws of the State of Colorado.

2. The City has been previously notified that, pursuant to Section 24-32-1706 of the Colorado Private Activity Bond Ceiling Allocation Act, Part 17 of Article 32 of Title 24, Colorado Revised Statutes (the “Allocation Act”), it has an allocation of a portion of the State ceiling (as defined in the Allocation Act) for 2026 in the amount of \$3,162,447.

3. Attached hereto as Exhibit A is a true and correct copy of Resolution No. ____ (the “Resolution”) authorizing the assignment to the Housing Authority of the City of Littleton, Colorado dba South Metro Housing Options (the “Authority”) of all of such allocation of the 2026 State ceiling in the amount of \$3,162,447 (the “Assigned Allocation”), and authorizing the execution and delivery of an Assignment of Allocation expected to be dated on or about _____, 2026 (the “Assignment of Allocation”) between the City and the Authority in connection therewith, which Resolution was duly adopted by the City Council of the City (the “City Council”) at a meeting thereof held on _____, 2026, at which meeting a quorum was present and acting throughout and which Resolution has not been revoked, rescinded, repealed, amended or modified and is in full force and effect on the date hereof.

4. The meeting of the City Council at which action has been taken with respect to the Assignment of Allocation was a regular meeting properly called and open to the public at all times.

5. With respect to the Assigned Allocation, the City has not heretofore: (a) issued private activity bonds; (b) assigned the Assigned Allocation to another “issuing authority,” as defined in the Allocation Act; (c) made a mortgage credit certificate election; or (d) treated the Assigned Allocation as an allocation for a project with a carryforward purpose, as defined in the Allocation Act.

6. The Assignment of Allocation, attached hereto as Exhibit B, is in the form presented to and approved by the City Council at the meeting thereof held on _____, 2026.

7. On or before the date hereof, the Mayor of the City and the City Clerk officially executed counterparts of the Assignment of Allocation.

8. The City has authorized the execution, delivery and due performance of the Assignment of Allocation, and the execution and delivery of the Assignment of Allocation and the compliance by the City with the provisions thereof, will not, to the best of my

knowledge, conflict with or constitute on the part of the City a breach of or a default under any existing Colorado law, City resolution, court or administrative regulation, decree or order or any agreement or other instrument to which the City is subject or by which it is bound.

9. To the best of the undersigned's knowledge, there does not exist any action, suit, proceeding or investigation pending, or threatened against the City, contesting (a) the corporate existence of the City, (b) the title of its present officers or any of them to their respective offices, including, without limitation, the members of the City Council, (c) the validity of the Assignment of Allocation or (d) the power of the City to execute, deliver or perform the Assignment of Allocation.

10. No referendum petition has been filed concerning the Resolution; and to the best of my knowledge none is being circulated or planned for circulation.

(Signature page follows)

WITNESS my hand as of the date first written above.

CITY OF LITTLETON, COLORADO

Mayor

Approved as to From:

City Attorney

(Signature page to Certificate Concerning
Assignment of 2026 Private Activity Bond Volume Cap)

EXHIBIT A
RESOLUTION

EXHIBIT B
ASSIGNMENT OF ALLOCATION

ASSIGNMENT OF ALLOCATION

THIS ASSIGNMENT (the “Assignment”), dated as of _____, 2026, is between the CITY OF LITTLETON, COLORADO, a body corporate and politic (the “Assignor”), and THE HOUSING AUTHORITY OF THE CITY OF LITTLETON, COLORADO DBA SOUTH METRO HOUSING OPTIONS, a body corporate and politic (the “Assignee”).

RECITALS

A. The Assignee intends to finance qualified residential rental projects (the “Project”).

B. The Project will be designed to qualify as a “project” within the meaning of Title 29, Article 4, Part 2, Colorado Revised Statutes, as amended (the “Act”).

C. The Assignee intends to provide for the issuance of its multifamily housing revenue bonds, notes or other obligations, in one or more series (the “Proposed Bonds”), pursuant to the provisions of the Act for the purpose of financing the Project.

D. The Assignee has requested that the Assignor assign to the Assignee all of the Assignor’s 2026 allocation, in the amount of \$3,162,447 (the “2026 Allocation”) under the bond ceiling for the State of Colorado and its issuing authorities (the State Ceiling”) computed under Section 146(d) of the Internal Revenue Code of 1986, as amended (the “Code”) as provided for the Assignor as a “designated local issuing authority” under part 17 of article 32 of title 24, Colorado Revised Statutes, as amended (the “Allocation Act”), for use in connection with the financing of the Project.

E. Subject to the terms and conditions set forth herein, the Assignor desires to assign to the Assignee, and the Assignee desires to accept, the 2026 Allocation from the State Ceiling.

ASSIGNMENT

In exchange for the agreements set forth herein and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties hereto agree as follows:

1. The Assignor hereby assigns and transfers to the Assignee all of the Assignor’s 2026 Allocation, in an amount equal to \$3,162,447, from the State Ceiling for private activity bonds. The Assignor and the Assignee understand that such assigned allocation shall automatically be relinquished to the “Statewide Balance” as defined under the Allocation Act unless (a) the Proposed Bonds are issued by the Assignee before September 15, 2026, or (b) Section 24-32-1706(3)(c) of the Allocation Act, pertaining to the carryforward of the assigned allocation, applies.

2. The Assignor represents that it has received no monetary consideration for the assignment set forth above.

3. The Assignee hereby:

(a) accepts the assignment of \$3,162,447 of the Assignor's 2026 Allocation from the State Ceiling described above; and

(b) agrees to abide by each of the terms and conditions of this Assignment and applicable provisions of the Allocation Act in connection with the use of such allocation.

4. The Assignor hereby consents to the election by the Assignee, if the Assignee in its discretion so decides, to treat all or any portion of the assignment set forth herein as an allocation for a project with a carryforward purpose within the meaning of the Allocation Act.

5. This Assignment shall not constitute the debt or indebtedness or financial obligation of the Assignor within the meaning of the constitution or statutes of the State of Colorado, nor give rise to a pecuniary liability or charge against the general credit or taxing power of the Assignor.

6. This Assignment may be simultaneously executed in several counterparts, each of which shall be an original and all of which shall constitute but one and the same instrument. To the fullest extent permitted by applicable law, facsimile or electronically transmitted signatures shall be treated as original signatures for all purposes hereunder.

(Remainder of this page left intentionally blank)

IN WITNESS WHEREOF, the Assignor and the Assignee have caused this Assignment of Allocation to be executed to be effective as of the date and year first written above.

CITY OF LITTLETON, COLORADO,
as Assignor

[SEAL]

Mayor

ATTEST:

City Clerk

APPROVED AS TO FORM:

City Attorney

HOUSING AUTHORITY OF THE CITY
OF LITTLETON, COLORADO, DBA
SOUTH METRO HOUSING OPTIONS,
as Assignee

Executive Director



Staff Communication

File #: Resolution 47-2026, **Version:** 1

Agenda Date: 06/16/2026

Subject:

Resolution 47-2026: Approving a Construction Contract with West Fork Construction for the Euclid Avenue Improvements Phase 2: Cherokee Street to Broadway Project, City Project No. 26-07

From:	James L. Becklenberg, City Manager
Prepared by:	Brent Soderlin, Director of Public Works & Utilities Ray Hill, Interim City Engineer Kyle Morris, Transportation Engineer II Jim Brose, Civil Engineer III
Presentations:	N/A

PURPOSE:

Approving a Construction Contract with West Fork Construction for the Euclid Avenue Improvements - Phase 2: Cherokee Street to Broadway Project, City Project No. 26-07.

LONG-TERM OUTCOME(S) SERVED:

Safe Community; High-Quality Governance

DISCUSSION:

On April 23, 2026, the City of Littleton’s Public Works Department advertised an Invitation for Bids for construction of the Euclid Avenue Improvements - Phase 2: Cherokee Street to Broadway Project, City Project No. 26-07. The project will provide safety and mobility upgrades to Euclid Avenue between Cherokee Street and Broadway, as further described in the following section. The formal solicitation for the project closed on May 22, 2026. The city received seven (7) bids. The bids were reviewed for completeness and accuracy. West Fork Construction was identified as the lowest responsive bidder.

Council approval of this resolution is required to award the contract and proceed with construction of the project. Construction is anticipated to begin in July 2026, with anticipated completion in September 2026.

BACKGROUND:

The City of Littleton strives to be a community which is safe for all modes of transportation, including bicycle and pedestrian mobility. As part of the Littleton Linkages Trail Study and the Safer Streets Initiative, Euclid Avenue from Elati Street to Broadway has been identified for upgrades which will support safer pedestrian and bicycle travel and promote traffic calming measures for vehicular traffic. In addition, this street segment has been identified as having poor quality pavement and in need of rehabilitation.

The project on Euclid Avenue has two separate phases of construction. The first phase of construction extended from Elati Street to Cherokee Street and was completed in the summer of 2025. With approval of this resolution,

the second phase, extending from Cherokee Street to South Broadway, will complete the critical infrastructure improvements to sidewalk, bike infrastructure, and crossing upgrades on Euclid Avenue. The second phase will also include improvements to the connection with the Highline Canal Trail and Broadway. The collective project will create a safer and more accessible route through the Euclid Avenue corridor and will improve connectivity to Euclid Middle School, Options Secondary Program, the High Line Canal Trail, and Broadway.

Phase 2 improvements include:

- Removal and replacement of curb, gutter, sidewalk, and roadway asphalt. Widening of the sidewalk.
- Installation of a raised crosswalk at the Highline Canal with rectangular rapid flashing beacons to alert and slow vehicular traffic at crosswalks along Euclid Avenue
- Americans with Disabilities Act (ADA)-compliant ramps and curb bulb-outs at intersections to improve safety, accessibility, and provide shorter crossing distances at crosswalks
- Removal and replacement of roadway striping and signage, including crosswalks

Completion of both phases of the project will mark the first “complete street” in the city, a milestone event for the Safer Streets Program. Complete streets provide high-comfort bicycle and pedestrian facilities and create safer access to trails, schools and amenities throughout the city. The safety of pedestrians, cyclists, transit users, children, elderly, those with disabilities, and other vulnerable roadway users throughout the city is critical to a healthy city and transportation network.

Prior Actions or Discussions

There have been no prior formal actions with City Council regarding Phase 2 of the project, however this Safer Streets project has been identified as a high priority by Council. Phase 1 of the Euclid Avenue Improvements Project, City Project Number 23-03 was approved on May 20th, 2025, through Resolution 41-2025.

FISCAL IMPACTS:

The proposed construction contract with West Fork Construction for the Euclid Avenue Improvements - Phase 2: Cherokee Street to Broadway Project is \$1,326,682.50. This project will be funded by \$1,147,136.00 from the Sales Tax Capital Improvement Fund and \$179,546.50 from the Capital Reserve Fund.

Pursuant to the City’s Procurement Policy, all contracts exceeding \$500,000 must be approved by City Council.

STAFF RECOMMENDATION:

Staff recommends approval of the construction contract.

ALTERNATIVES:

If the contract is not approved, construction of the project will not be completed, and the eastern portion of Euclid Avenue would not receive the important safety, accessibility, and connectivity improvements that would seamlessly connect to the improvements completed as part of Phase 1. Additionally, deferring this construction would likely be an increase in cost due to inflation and increased construction costs.

PROPOSED MOTION:

I move to approve Resolution 47-2026 approving a Construction Contract with West Fork Construction for the

Euclid Avenue Improvements - Phase 2: Cherokee Street to Broadway Project, City Project No. 26-07.

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CITY OF LITTLETON, COLORADO

Resolution No. 47

Series, 2026

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A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LITTLETON, COLORADO, APPROVING CONSTRUCTION CONTRACT BETWEEN THE CITY OF LITTLETON AND WEST FORK CONSTRUCTION FOR THE EUCLID AVENUE IMPROVEMENTS PHASE 2: CHEROKEE STREET TO BROADWAY PROJECT – CITY PROJECT NO. 26-07

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WHEREAS pursuant to Section 1-15-62 of the Littleton Municipal Code, City Council approval is a condition precedent to the approval of an agreement in which the total value of the agreement is over five hundred thousand dollars and 00/100 cents (\$500,000.00); and

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WHEREAS the city issued an Invitation for Bids soliciting proposals for the Euclid Avenue Improvements Phase 2: Cherokee Street to Broadway Project, City Project No. 26-07; and

WHEREAS the contractor, WEST FORK CONSTRUCTION submitted a response to perform the project and the city, after examination of the contractor’s submittal, has determined that the contractor has the requisite background, pricing, bond, and expertise to provide the requested work; and

WHEREAS city staff recommends acceptance of the contractor’s proposal for work in accordance with the issued Invitation for Bids; and

WHEREAS, the city and WEST FORK CONSTRUCTION desire to enter into an agreement, in which WEST FORK CONSTRUCTION will perform work in accordance with the terms and conditions outlined in the agreement, in substantially the same form attached hereto as Exhibit “A”.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LITTLETON, COLORADO, THAT:

Section 1. The Littleton City Council hereby approves the Construction Contract by and between the City of Littleton and West Fork Construction, for the Euclid Avenue Improvements Phase 2: Cherokee Street to Broadway Project, City Project No. 26-07, in substantially the same form attached hereto as Exhibit “A,” and authorizes the Mayor to execute the same on behalf of the City of Littleton.

Section 2. The Resolution shall take effect upon its approval by the Littleton City Council.

46 INTRODUCTION, READ AND ADOPTED at a regularly scheduled meeting of the
47 City Council of the City of Littleton, Colorado, on the 16th day of June 2026, at 6:30 p.m. at the
48 Littleton Center, 2255 West Berry Avenue, Littleton, Colorado.

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50 ATTEST:

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53 _____
Colleen L. Norton

54 CITY CLERK

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57 APPROVED AS TO FORM:

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60 _____
Reid Betzing

61 CITY ATTORNEY

Kyle Schlachter

MAYOR



CONSTRUCTION CONTRACT

THIS CONSTRUCTION CONTRACT (“Contract”) is made and entered into on the date of the last signature set forth below, by and between the City of Littleton, a municipal corporation within the State of Colorado (“City”), and West Fork Construction LLC, a Colorado limited liability company (“Contractor”). The Contractor and the City are referred to as a “Party” or collectively the “Parties.”

1.1 **Contract Documents and Exhibits.** The term “Contract Documents” consist of this Contract together with the following:

Exhibit A	Scope of Work
Exhibit B	Bid Schedule
Exhibit C	Performance and Payment Bond
Exhibit D	Littleton Engineering Design Standards (“Standards and Specifications”) (incorporated by reference only, Exhibit D available online)
Exhibit E	Drawings and Specifications
Exhibit F	Special Conditions

All exhibits referred to in this Contract are attached hereto and are, by reference, incorporated herein for all purposes. Any forms provided within the Contract are not intended to be considered final, and the City expressly reserves the right to modify said contract forms, in its sole discretion. In the event any matter, term, provision, or condition that is the subject of this Contract requires clarification or is in dispute, or is the subject of a difference of opinion, the purpose and intent of the Contract shall be first ascertained by reference to the Contract Documents in their entirety. In the event of any dispute or differences between the respective documents that constitute the Contract Documents, then the Contractor shall secure the written instructions from the City before proceeding with the performance of the services affected by such conflicts, omissions or discrepancies.

1.2 **Project.**

1.2.1 The Contractor shall commence and complete the Scope of Work (“Work”), **Exhibit A**, in accordance with the Contract Documents, as defined herein. The Contractor agrees to perform and complete the Work in a proper and workmanlike manner, consistent with the highest standards of professional and construction practices and in full compliance with, and as required by or pursuant to, this Contract, and with the greatest economy, efficiency, and expedition consistent therewith. The Contractor shall, at its own expense, furnish all labor, materials, tools, supplies, machinery, utilities, permits, licenses, and other equipment that may be necessary for the completion of

the Work, as outlined in the Contract Documents. The Contractor shall have no property right in materials after they have been attached, affixed or incorporated in the Work or the soil.

1.2.2 Further, the Contractor acknowledges that all reasonably necessary steps were taken to ascertain the nature and location of the Work, and the general and local conditions which can affect the Work or the cost of the Work. Failure by the Contractor to do so will not relieve it from responsibility for successfully performing Work without additional expense to the City. The City will not be responsible for any understanding or representations concerning conditions unless such understanding or representations are expressly stated in the Contract.

1.2.3 The City shall furnish all lands and rights-of-way required for completion of the Work. In acquiring rights-of-way, the City will proceed as expeditiously as possible, but in the event all rights-of-way or easements are not acquired prior to the beginning of construction, the Contractor shall begin Work on such lands and rights-of-way as have been acquired. No claim for damage will be allowed or shall be made by reason of the City's delay in obtaining lands, easements or rights-of-way. In the event of litigation or other delays in acquiring rights-of-way, the time allowed herein for completion will be extended to compensate for the time actually lost by such delay.

1.3 **Commencement and Completion of the Project.** The Contractor understands and agrees that all Work required under this Contract shall not commence until a Notice to Proceed is issued and shall be fully completed within **75 days of receiving the Notice to Proceed from the City**. The Contractor acknowledges and understands that it is an essential term of this Contract that Contractor maintain a rate of progress in the Work that will result in completion of the Work in accordance with the Contract Documents, and to that end, Contractor agrees to proceed with all due diligence to complete the Work in a timely manner in accordance with the Contract Documents.

1.4 **Contract Price.** The City accepts the Contractor's bid as set forth in the Bid Schedule, **Exhibit B**, in the total amount of **one million three hundred twenty-six thousand six hundred eighty-two dollars and fifty cents (\$1,326,682.50)**. The City shall make payment(s) to Contractor in the manner and at such times as set forth in the Standards and Specifications. Should the Contract price exceed one-hundred and fifty-thousand dollars (\$150,000.00), the City shall deduct and retain five (5) percent from the total amount of each approved invoice, including Change Orders. The City may also deduct in addition to retainage as stated above, the additional amount(s) of any and all outstanding claims pursuant to Colorado Revised Statute ("C.R.S.") §38-26-107 from each approved invoice.

1.5 **Payments to Constitute Current Expenditures.**

1.5.1 Notwithstanding any other term, provision, or condition herein, all financial obligations of the City are contingent on funds for that purpose being appropriated, budgeted and otherwise made available by the City Council. The City's obligations under the Contract shall not constitute a multiple-fiscal year direct or indirect debt or other financial obligation of the City within the meaning of Article X, Section 20 of the Colorado Constitution.

1.5.2 Further, pursuant to 103.6(2) of Article 91, Title 24, C.R.S., no Change Order, Amendment, or other form of order or directive by the City which requires additional compensable work to be performed, and which work causes the aggregate amount payable under this Contract to exceed the amount appropriated for the original Contract, shall be executed, or shall work be performed by the Contractor, unless the City provides written assurances to the Contractor that lawful appropriations to cover the costs of such additional work have been made or unless such work is covered under a remedy-granting provision of this Contract. For purposes of this paragraph, "remedy-granting provision" shall be defined as set forth in C.R.S. §24-91-103.6(4).

1.6 **Confidentiality.** Notwithstanding any provision in the Contract Documents to the contrary, the City is obligated to comply with the Colorado Open Records Act (C.R.S. §§24-72-101 *et seq.*), which may require the City to disclose all or a portion of communications relating to the Contract, or terms of same, or of any transaction under the Contract, and other related matters. The Contractor shall familiarize itself with the Colorado Open Records Act. In no event shall the City be liable to the Contractor for the disclosure of all or a portion of communications, or relating documents, or electronic imaging, including all documents and exhibits that may be included as part of this Contract.

1.7 **Bonds.**

1.7.1 Contemporaneous with the Contractor's execution of this contract, the Contractor shall provide a Performance Bond and a Labor and Material Payment Bond as security for the faithful performance and payment of all the Contractor's obligations under the Contract Documents. All bonds shall be in the form prescribed by the City, executed by a surety company i) licensed to do business in the State of Colorado; ii) with a general rating of A and a financial size category of Class X or better in Best's Insurance Guide, each in the penal sum of the contract price; and iii) in conformance with C.R.S. §§ 38-26-105 and 106 ("Bonds"). All Bonds signed by an agent or attorney-in-fact shall be accompanied by a certified copy of the signatory's authority to act. The Contractor shall, at all times while providing, performing, or completing the Work including without limitation at all times while correcting any failure to meet warranty pursuant to the Standards and

Specifications, maintain and keep in force the Bonds at the Contractor's expense.

- 1.7.2 If the Surety for any Bond furnished by the Contractor is placed in a receivership or declared bankrupt, or its rights to do business in Colorado are terminated, or it ceases to meet the requirements specified herein, the Contractor shall within five (5) days thereafter substitute another Bond and Surety, both of which shall be acceptable to the City.

1.8 Insurance.

- 1.8.1 The Contractor shall not commence work, and shall not allow any subcontractor to commence work, until it has obtained all insurance required herein and such insurance has been approved by City. For the duration of the Contract, the Contractor must maintain the insurance coverage required in this section. The City's acceptance of a certificate of insurance or other proof of insurance that does not comply with all insurance requirements set forth in this Contract shall not act as a waiver of the Contractor's breach of Contract or of any of the City's rights or remedies under this Contract.
- 1.8.2 The Contractor shall not be relieved of any liability, claims, demands, or other obligations assumed pursuant to the Contract Documents by reason of its failure to procure or maintain insurance, or by reason of its failure to procure or maintain insurance in sufficient amounts, durations, or types.
- 1.8.3 The Contractor shall procure and maintain at its own cost and shall cause each subcontractor of the Contractor to procure and maintain at its own cost (or shall insure the activity of Contractor's subcontractors in Contractor's own policy with respect to), the minimum insurance coverages listed below. Such coverages shall be procured and maintained with forms and insurers acceptable to the City. All coverages shall be continuously maintained from the date of commencement of the Work. In the case of any claims-made policy, the necessary retroactive dates and extended reporting periods shall be procured to maintain such continuous coverage.
- i. Workers' Compensation and Employers' Liability insurance with minimum limits of FIVE HUNDRED THOUSAND DOLLARS (\$500,000) each accident, FIVE HUNDRED THOUSAND DOLLARS (\$500,000) disease - policy limit, and FIVE HUNDRED THOUSAND DOLLARS (\$500,000) disease - each employee. The policy shall cover obligations imposed by the Workers' Compensation Act of Colorado and any other applicable laws for any employee engaged in the performance of Work.

- ii. Commercial General Liability insurance with minimum combined single limits of ONE MILLION DOLLARS (\$1,000,000) each occurrence and TWO MILLION DOLLARS (\$2,000,000) aggregate. The policy shall be applicable to all premises and operations. The policy shall include coverage for bodily injury, broad form property damage (including completed operations), personal injury (including coverage for contractual and employee acts), blanket contractual, independent contractors, products, and both ongoing and completed operations. The policy shall include coverage for explosion, collapse, and underground hazards (XCU). The policy shall contain a severability of interests provision.
- iii. Comprehensive Automobile Liability insurance with a minimum combined single limit for bodily injury and property damage of ONE MILLION DOLLARS (\$1,000,000) with respect to each of Contractor's owned, hired and/or non-owned vehicles assigned to or used in performance of the Work. The policy shall contain a severability of interests provision.
- iv. Installation Floater/Inland Marine insurance with minimum limits of not less than the insurable value of the work to be performed at completion. The value shall include the aggregate value of any City-furnished equipment and materials to be erected or installed by the Contractor not otherwise insured. The policy shall protect the Contractor and the City from all insurable risks of physical loss or damage to materials and equipment not otherwise covered, while in warehouses or storage areas, during installation, during testing, and after the Work under this Contract is completed. The policy shall be of the "all risks" type, with coverages designed for the circumstances which may occur in the particular Work to be performed under this Contract. The policy shall provide for losses to be payable to the Contractor and the City as their interests may appear. The policy shall contain a provision that in the event of payment for any loss under the coverage provided, the insurance company shall have no rights of recovery against the Contractor or the City.
- v. Equipment Floater. If Contractor or subcontractors utilize high-value equipment, tools, or machinery, or provides its own equipment that will not become a permanent part of the Work, Contractor shall maintain Equipment Floater, at its sole cost and expense, to protect owned, leased, or rented equipment, tools and materials against risk of loss with

sufficient limits to cover the value of all of the equipment, tools and materials Contractor is solely responsible for any deductibles, self-insured retentions or uninsured losses for any reason arising out of Contractor's obligations of this subsection.

- 1.8.4 The City of Littleton shall be included as additional insured for Commercial General Liability and Comprehensive Automobile Liability insurance. The City of Littleton shall be included as additional insured or loss payee for Installation Floater/Inland Marine insurance. All policies of insurance providing additional insured status shall be primary insurance, and any insurance carried by the City, its officers, or its employees, shall be excess and not contributory insurance to that provided by Contractor. The additional insured endorsement for the Commercial General Liability insurance required above shall not contain any exclusion for bodily injury or property damage arising from completed operations. The Contractor shall be solely responsible for any deductible losses under each of the policies required above.
- 1.8.5 Certificates of insurance shall be completed by the Contractor's insurance company as evidence that policies providing the required coverages, conditions, and minimum limits are in full force and effect, and shall be subject to review and approval by the City. The certificate cannot contain "endeavor to" language in the portion of the certificate addressing cancellation. The City of Littleton shall be included as Certificate Holder. The City reserves the right to request and receive a certified copy of any policy and any endorsement thereto.
- 1.8.6 The coverages afforded under the policies shall not be cancelled, terminated or materially changed until at least thirty (30) days' prior written notice has been given to the City. Failure on the part of the Contractor to procure or maintain policies providing the required coverages, conditions, and minimum limits shall constitute a material breach of Contract upon which the City may immediately terminate the Contract, or at its discretion may procure or renew any such policy or any extended reporting period thereto and may pay any and all premiums in connection therewith, and all monies so paid by the City shall be repaid by Contractor to the City upon demand, or the City may offset the cost of the premiums against any monies due to Contractor from the City.
- 1.8.7 The Parties hereto understand and agree that the City is relying on, and does not waive or intend to waive by any provision of this Contract, the monetary limitations or any other rights, immunities, and protections provided by the Colorado Governmental Immunity Act, C.R.S. § 24-10-101 et seq., as from time to time amended, or otherwise available to the City, its officers, or its employees.

- 1.9 **Patented Devices, Materials and Processes.** If the Contractor is required or desires to use any design, device, material or processes covered by patent or copyright, the Contractor shall provide for such use by suitable legal agreement with the patentee or patent owner. The Contractor shall warrant that the materials, equipment or devices used on or incorporated in the Work shall be delivered free of any rightful claim of any third-party for infringement of any United States patent or copyright. If notified promptly in writing and given authority, information and assistance, the Contractor shall defend, or may settle, at its expense, any suit or proceeding against the City so far as based on a claimed patent or copyright infringement which would result in a breach of this warranty, and the Contractor shall pay all damages and costs awarded therein against the City due to such breach. In case any use of any materials, equipment or devices is in such suit held to constitute an infringement and such use is enjoined, the Contractor shall, at its expense and option, either procure for the City the right to continue using said materials, equipment or devices, or replace same with non-infringing materials, equipment or devices, or modify the same so it becomes non-infringing. The Contractor shall report to the City promptly and in reasonable written detail each notice or claim of patent or copyright infringement based on the performance of this Contract of which the Contractor has knowledge. In the event of any claim or suit against the City as a result of any alleged patent or copyright infringement arising out of the performance of this Contract or out of the use of any supplies furnished or Work or services performed hereunder, the Contractor shall furnish to the City when requested by the City, all evidence and information in possession of the Contractor pertaining to such suit or claim. Such evidence and information shall be furnished at the expense of the City except where the Contractor has agreed to indemnify the City. This clause shall be included in all subcontracts.
- 1.10 **Taxes.** The City of Littleton is not subject to taxation. The Contractor shall not invoice the City for any state, federal or local taxes whatsoever. Upon written notification by the City, the Contractor shall reimburse the City in a timely manner for any taxes erroneously paid by the City.
- 1.11 **Termination for Convenience of City.** This Contract and the performance of the Work hereunder may be terminated at any time, in whole or in part, for convenience. Any such termination shall be effected by delivery to the Contractor of a written notice ("Notice of Termination") specifying the extent to which performance of Work is terminated, the date upon which termination becomes effective, and any necessary actions to be taken by the Contractor to effectuate termination and close-out the Contract. If the Contract is terminated, the Contractor shall be paid on a prorated basis of Work satisfactorily completed, under the Work. The portion of Work satisfactorily completed but not yet accepted by the City shall be determined by the City.
- 1.12 **Cooperation with Other Contractors.** In connection with the improvements under this Contract, the right is reserved by the City to award any Work not

included in the Contract to another contractor for performance during the progress of this Contract, or to perform such Work with the City's forces, and the Contractor shall cooperate and so conduct its operation as to minimize the interference therewith, as directed by the Project Manager.

- 1.13 **Termination of Contractor's Responsibility.** This Contract will be considered complete when all Work and final cleanup has been finished, the Work has been accepted by the City, and all claims for payment of labor, materials, or services of any kind used in connection with the Work have been settled for by the Contractor or its Surety. The Contractor will then be released from further obligation except as set forth in the Bond and for its responsibility for injury to persons or property arising from its duties and obligations under the Standards and Specifications. The Bond executed for performance of this Contract shall be in full effect for a period of one (1) year following acceptance of the Work; except with regard to the representation regarding copyright infringement found in Section 1.9 where the Bond shall remain in effect for three (3) years, and except with regard to the representation regarding patent infringement found in Section 1.9, where the Bond shall remain in effect for six (6) years. Neither the final payment nor any provision in the Contract Documents shall relieve the Contractor of the responsibility for negligence or faulty materials or workmanship. Payment to the Contractor will not relieve the Contractor of any obligation under this Contract.
- 1.14 **Subcontracting or Assignment of Work.** No contractual relationship will be recognized under the Contract other than the contractual relationship between the City and Contractor. No portion of the Contract shall be subcontracted, assigned or otherwise disposed of except with the written consent of the City, which consent shall not be unreasonably withheld. Requests for permission to subcontract, assign or otherwise dispose of any portion of the Contract shall be in writing to the Project Manager and shall be accompanied by documents demonstrating the organization which will perform the Work is particularly experienced and equipped for such Work. Consent to subcontract, assign or otherwise dispose of any portion of the Contract shall not be construed to relieve the Contractor of any responsibility for the fulfillment of the Contract.
- 1.15 **Waiver of Breach.** A waiver by any Party to the Contract or the breach of any term or provision of the Contract shall not operate or be construed as a waiver of any subsequent breach by either Party.
- 1.16 **No Third-Party Beneficiaries.** It is expressly understood and agreed that enforcement of the terms and conditions of this Contract, and all rights of action relating to such enforcement, shall be strictly reserved to the City and the Contractor and nothing contained in this Contract shall give or allow any such claim or right of action to any other third-party on this Contract. It is the express intention of the City and the Contractor that any person other than the City or the Contractor receiving services or benefits under this Contract shall be deemed to be an incidental beneficiary only.

- 1.17 **Independent Contractor.** The Contractor shall perform the Work as an independent contractor and shall not be deemed by virtue of this Contract to have entered into any partnership, joint venture, employer/employee or other relationship with the City other than as a contracting party and independent contractor.
- 1.18 **Accessibility Standards.** The Contractor shall comply with the accessibility standards for an individual with a disability adopted by the Colorado Office of Information Technology, in accordance with C.R.S. § 24-85-103 and its implementing regulations. Notwithstanding the foregoing, this requirement shall not be applicable to contracts or agreements for professional services, as defined by C.R.S. § 24-30-1402, or to any portion or part of the contract or agreement that is providing professional services. Further, the contractor shall indemnify, hold harmless, and assume liability on behalf of the city and the city's officers, employees, and agents, for all costs, expenses, claims, damages, liabilities, court awards, attorney fees and related costs, and any other amounts incurred by the city in relation to the contractor's noncompliance with the accessibility standards for an individual with a disability adopted by the Colorado Office of Information Technology, in accordance with C.R.S. § 24-85-103, and its implementing regulations.
- 1.19 **Non-Discrimination.** In connection with the performance of the Work, the Contractor will not discriminate against any employee or applicant for employment because of race, color, religion, national origin, ethnicity, citizenship, immigration status, sex, gender, age, sexual orientation, gender identity or gender expression, marital status, source of income, military status, protective hairstyle, genetic information, pregnancy, or disability, or any other status protected by applicable law. The Contractor will take affirmative action to ensure applicants are employed, and employees are treated during employment, without regard to their race, color, religion, national origin, ethnicity, citizenship, immigration status, sex, gender, age, sexual orientation, gender identity or gender expression, marital status, source of income, military status, protective hairstyle, genetic information, pregnancy, disability, or any other status protected by applicable law. Such action shall include, but not be limited to the following: employment, upgrading, demotion or transfer; recruitment or recruitment advertising; layoff or termination; rates of pay or other forms of compensation; and selection for training, including apprenticeship.
- 1.20 **Indemnification.** The Contractor agrees to investigate, defend, indemnify and hold harmless the City, its officers, employees, insurers, and self-insurance pool, from and against all liability, claims and demands on account of any losses, injuries, and damages, including but not limited to, alleged personal injury claims, and/or death claims, or property damage claims, or errors and omissions, which arise solely out of the Contractor's and/or any of its agents' officers or employees performance of the Contractor's obligations under this Contract. The City is

prohibited by Article XI, Section 1, Colorado Constitution, from indemnifying any individual or entity. Therefore, the City does not indemnify the Contractor, successors, or assigns under this Contract. Notwithstanding the foregoing, nothing herein is intended to constitute a covenant, promise, or agreement to indemnify and hold harmless the City from any liability or damages directly caused by or attributable to the City's own negligence, nor is anything herein intended to be nor may be construed as a waiver of the immunities, protections, or limitations on damages provided to the City by the Colorado Governmental Immunity Act, C.R.S. §§24-10-101 et seq., as it may from time to time be amended.

- 1.21 **Governing Law and Venue.** The Contract shall be governed by the laws of the State of Colorado. Venue for any action arising under the Contract or for the enforcement of the Contract shall be in the appropriate court for Arapahoe County, Colorado.
- 1.22 **Additional Documents or Action.** The Parties agree to execute any additional documents and to take any additional action that is necessary to carry out this Contract.
- 1.23 **Binding Effect.** This Contract shall inure to the benefit of, and be binding upon, the Parties, their respective legal representatives, successors, heirs, and assigns; provided, however, that nothing in this paragraph shall be construed to permit the assignment of this Contract except as otherwise expressly authorized herein.
- 1.24 **Integration, Amendment, and Severability.** This Contract represents the entire agreement between the Parties and there are no oral or collateral agreements or understandings. This Contract may be amended only by an instrument in writing signed by the Parties or as otherwise provided herein. If any other provision of this Contract is held invalid or unenforceable, no other provision shall be affected by such holding, and all of the remaining provisions of this Contract shall continue in full force and effect.
- 1.25 **Binding Authority.** The Contractor represents and affirms that the signature page hereof accurately states the full legal name of Contractor (whether as a corporation, partnership, limited liability company, sole proprietorship, or other), contains all requisite signature(s) on behalf of Contractor, has been properly acknowledged by attestation, notary acknowledgment, or both, and in all other respects is effective to bind Contractor, in accordance with all applicable statutes, regulations, resolutions, rules, bylaws, agreements, or similar sources of authority or limitation. This Contract may be executed in counterpart(s), each of which shall be deemed to be an original, and all of which, taken together, shall constitute one instrument.
- 1.26 **Subject to Legislative Approval and Compliance with Law.** The Contractor acknowledges and agrees that if a Change Order is required under the terms of the Contract, the City shall not incur any liability whatsoever for claims of payment,

compensation, damages, or adjustment of any kind by the Contractor due to any delays for the required approvals and execution under the City's Purchasing Ordinance. The Contractor further acknowledges and agrees that this Contract's execution may be contingent upon approval by the City Council, in compliance with all applicable provisions of the City Charter and City Code. The City shall not incur any liability whatsoever if this Contract is not approved by City Council.

- 1.27 **Notices.** All notices required under this Contract shall be in writing and shall be sent by registered or certified mail, return receipt requested, to the addresses of the Parties herein set forth. A Party may change its mailing address by giving written notice of such change of address to other Party.

Notice to City: City of Littleton
City Manager
2255 West Berry Avenue
Littleton, CO 80120

Notice to Contractor: West Fork Construction LLC
10635 Thomas Road
Colorado Springs, CO 80908

- 1.28 **Force Majeure.** Neither Party shall be responsible for a delay in its respective performance under this Contract, other than a delay in payment for Work already performed, if such delay is caused by extraordinary weather conditions or other natural catastrophes, war, terrorist attacks, sabotage, computer viruses, riots, strikes, lockouts or other industrial disturbances, epidemics, pandemics, acts of governmental agencies or authorities, discovery of hazardous materials or differing and unforeseeable site conditions, or other events beyond the reasonable control of the claiming Party. Contractor shall be entitled to an equitable adjustment to the project schedule in accordance with the Standards and Specifications. When a delay on any aspect of the Work occurs, the Contractor, to the maximum extent possible, shall utilize its resources elsewhere in the Work.

- 1.29 **Electronic Signatures and Electronic Records.** The Contractor consents to the use of electronic signatures by the City. The Contract, and any other documents requiring a signature hereunder, may be signed electronically by the City in the manner specified by the City. The Parties agree not to deny the legal effect or enforceability of the Contract solely because it is in electronic form or because an electronic record was used in its formation. The Parties agree not to object to the admissibility of the Contract in the form of an electronic record, or a paper copy of an electronic document, or a paper copy of a document bearing an electronic signature, on the ground that it is an electronic record or electronic signature or that it is not in its original form or is not an original.

CITY OF LITTLETON, COLORADO

ATTEST

Kyle Schlachter
MAYOR

Colleen Norton
CITY CLERK

APPROVED AS TO FORM:

Reid Betzing
CITY ATTORNEY



CONTRACTOR

Vlad Bocharov
PM

Date

Exhibit A Scope of Work

This roadway project along Euclid Avenue from Cherokee Street to Broadway includes geometric improvements at multiple local intersections, asphalt roadway reconstruction, concrete sidewalk/shared-use paths, storm sewer, traffic calming devices, flashing beacons, and signing & striping. The Contractor shall perform work to improve bike and pedestrian mobility, vehicular safety, and traffic calming.

The intersection of Euclid Avenue and Cherokee Street shall be fully opened to traffic by August 7, 2026.

**Exhibit B
Bid Schedule**

Code	Description	UOM	Price	Quantity	Total Cost
202-00010	Removal of Tree	Each	3,000.00	1	3,000.00
202-00018	Removal of Chase Drain	Each	350	1	350
202-00090	Removal of Delineator	Each	15	10	150
202-00190	Removal of Concrete Median Cover Material	Square Yard	23	28	644
202-00195	Removal of Median Cover	Square Yard	36	25	900
202-00200	Removal of Sidewalk	Square Yard	24	287	6,888.00
202-00202	Removal of Gutter	Linear Foot/Feet	18	65	1,170.00
202-00203	Removal of Curb and Gutter	Linear Foot/Feet	4.5	836	3,762.00
202-00204	Removal of Curb, Gutter and Sidewalk	Linear Foot/Feet	6.5	1,681.00	10,926.50
202-00206	Removal of Concrete Curb Ramp	Square Yard	18.5	162	2,997.00
202-00210	Removal of Concrete Pavement	Square Yard	28	236	6,608.00
202-00220	Removal of Asphalt Mat	Square Yard	6	5,439.00	32,634.00
202-00226	Removal of Asphalt Mat (Special)	Square Yard	7	85	595
202-00810	Removal of Ground Sign	Each	60	13	780
202-00821	Removal of Sign Panel	Each	200	5	1,000.00
203-00010	Unclassified Excavation (Complete In Place)	Cubic Yard	28	2,297.00	64,316.00
206-00065	Structure Backfill (Flow-Fill)	Cubic Yard	180	50	9,000.00
206-00510	Filter Material (Class A)	Cubic Yard	300	2	600
207-00205	Topsoil	Cubic Yard	110	50	5,500.00
208-00008	Erosion Log Type 2 (12 Inch)	Linear Foot/Feet	8	691	5,528.00
208-00035	Aggregate Bag	Linear Foot/Feet	16	78	1,248.00
208-00046	Pre-fabricated Concrete Washout Structure	Each	8,000.00	1	8,000.00
208-00054	Storm Drain Inlet Protection (Type II)	Each	500	2	1,000.00
208-00075	Pre-fabricated Vehicle Tracking Pad	Each	5,000.00	1	5,000.00
208-00200	Erosion Control Management	Lump-Sum	8,000.00	1	8,000.00
210-00067	Reset Monument (Type 5)	Each	1,500.00	3	4,500.00
210-00810	Reset Ground Sign	Each	550	4	2,200.00
210-04010	Adjust Manhole	Each	800	3	2,400.00
210-04050	Adjust Valve Box	Each	500	9	4,500.00
212-01200	Landscape Restoration	Lump-Sum	17,000.00	1	17,000.00
216-00201	Erosion Retention Blanket (Straw-Coconut) (Biodegradable Class 1)	Square Yard	12	81	972
304-06007	Aggregate Base Course (Class 6)	Cubic Yard	70	1,600.00	112,000.00
403-00721	Hot Mix Asphalt (Patching) (Asphalt)	Square Yard	80	64	5,120.00
403-33741	Hot Mix Asphalt (Grading S) (75) (PG 64-22)	Ton	100	587	58,700.00

403-34741	Hot Mix Asphalt (Grading SX) (75) (PG 64-22)	Ton	112	597	66,864.00
412-00300	Concrete Pavement	Square Yard	118	48	5,664.00
412-00600	Concrete Pavement (6 Inch)	Square Yard	92	556	51,152.00
412-01000	Concrete Pavement (10 Inch)	Square Yard	125	54	6,750.00
412-01001	Concrete Pavement (10 Inch) (Special)	Square Yard	130	27	3,510.00
503-00018	Drilled Shaft (18 Inch)	Linear Foot/Feet	260	12	3,120.00
506-00409	Soil Riprap (9 Inch)	Cubic Yard	290	4	1,160.00
603-01180	18 Inch Reinforced Concrete Pipe	Linear Foot/Feet	110	54	5,940.00
603-05018	18 Inch Reinforced Concrete End Section	Each	4,000.00	1	4,000.00
604-16550	Inlet Type 16 (Double) (Special)	Each	12,000.00	2	24,000.00
608-00000	Concrete Sidewalk	Square Yard	85	2,188.00	185,980.00
608-00010	Concrete Curb Ramp	Square Yard	210	389	81,690.00
608-10010	Sidewalk Drain	Each	6,500.00	1	6,500.00
609-21020	Curb and Gutter Type 2 (Section II-B)	Linear Foot/Feet	32	2,444.00	78,208.00
609-24006	Gutter Type 2 (6 Foot)	Linear Foot/Feet	72	40	2,880.00
604	1-1/2 Inch Plastic Irrigation Pipe (PVC) (Class 200 BE)	Linear Foot/Feet	13	60	780
604	2 Inch Plastic Irrigation Pipe (PVC) (Class 160)	Linear Foot/Feet	13	60	780
604	4 Inch Plastic Irrigation Pipe (PVC) (Class 160)	Linear Foot/Feet	36	60	2,160.00
614-00011	Sign Panel (Class I)	Square Foot/Feet	30	18	540
614-00012	Sign Panel (Class II)	Square Foot/Feet	40	54	2,160.00
614-00217	Steel Sign Post (2x2 Inch Telespar Tubing)	Linear Foot/Feet	32	88	2,816.00
614-72860	Pedestrian Push Button	Each	2,000.00	2	4,000.00
614-80003	Rectangular Rapid Flashing Beacon	Each	7,000.00	2	14,000.00
614-84000	Traffic Signal Pedestal Pole Steel	Each	300	2	600
625-00000	Construction Surveying	Lump-Sum	35,500.00	1	35,500.00
626-00000	Mobilization	Lump-Sum	125,000.00	1	125,000.00
627-00008	Modified Epoxy Pavement Marking	Gallon	500	10	5,000.00
627-30405	Preformed Thermoplastic Pavement Marking (Word- Symbol)	Square Foot/Feet	27	120	3,240.00
627-30410	Preformed Thermoplastic Pavement Marking (Xwalk- Stop Line)	Square Foot/Feet	21	700	14,700.00
630-00000	Traffic Control	Lump-Sum	75,000.00	1	75,000.00
700-70010	Force Account				125,000.00

Total 1,326,682.50

PERFORMANCE, LABOR AND MATERIAL PAYMENT BOND

KNOW ALL MEN BY THESE PRESENTS that West Fork Construction LLC (Contractor), as Principal (the "Principal") and Palomar Casualty and Surety Company, a corporation organized under the laws of the State of Louisiana, and authorized to transact business in the State of Colorado, as "Surety", jointly and severally, including their heirs, personal representatives, successors and assigns, are held and firmly bound unto the City of Littleton as Obligee, hereinafter called Owner, for the use and benefit of claimants as herein below defined, in the amount of One Million Three Hundred Twenty-Six Thousand Six Hundred Eighty-Two Dollars and Fifty Cents (\$1,326,682.50), for the payment and interest as provided by law for the performance of the Contract between the Principal and the Owner, dated _____, 2026, for the Euclid Avenue Roadway Improvements Phase II - Cherokee Street to Broadway Project in accordance with drawings and specifications; which the Contract is made a part hereof, and is hereinafter referred to as the Contract, and incorporated by this reference.

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION is such that if the Principal, at all times, shall promptly and faithfully perform said Contract, and shall promptly make payment to all claimants as hereinafter defined, for all labor and material used or reasonably required for use in the performance of the Contract, any authorized modifications thereof during the original term of the Contract, any extensions thereof that may be granted by the Owner, and during the term of any guarantee or warranty required under the Contract, and shall fully indemnify and save harmless the Owner from all costs and damages which it may suffer by reason of failure to do so, and shall reimburse and repay the Owner all outlay and expense when the Owner may incur in making good any default, then the Principal and Surety shall have no obligation under this Bond, otherwise it shall remain in full force and effect for a period of one (1) year following execution of the Contract. Upon expiration, this Bond shall be extended by a continuation certificate for an additional one (1) year, and extended thereafter until the warranty period has expired in accordance with the terms of the Contract.

The Surety, for value received, agrees that no extension of time, change in, addition to, or other alteration or modification of the terms of the Contract or work to be performed there under or any other forbearance on the part of either the Owner or the Principal to the other shall in any way release or impact the Surety's liability or obligation on this Bond, and the Surety hereby waives notice of any extension of time, change in, addition to, or other alteration or forbearance.

Whenever the Owner terminates the Contract in accordance with the terms thereof, the Surety shall, within fifteen (15) calendar days after written notice of such termination, notify the Owner in writing of its election to complete the Contract in accordance with its terms and conditions, or notify the Owner that the Surety elects not to complete the Contract. If the Surety fails to provide the written notice within the fifteen (15) calendar day period, then it will have deemed to have not elected to complete the Contract. Should the Surety elect to complete the Contract, then it shall, within fifteen (15) additional calendar days, following written notice of such election, obtain a bid or bids for submission to Owner for completing the Contract in accordance with its terms and conditions. The Surety shall arrange for a contract between bidder and Owner, and make

available as work progresses (even though there should be a default or a succession of defaults under the contract or contracts of completion arranged under this paragraph) sufficient funds to pay the cost of completion less the balance of the Contract price; but not exceeding, including other costs, attorneys fees of the Owner and damages for which the Surety shall be liable hereunder, the amount set forth in the first paragraph hereof. In the event of termination, the Surety may not engage the Principal to complete the Contract, without prior written consent of the Owner, which consent may be withheld in the Owner's sole discretion. If the Surety elects to complete the Contract, then it shall be entitled to receive the balance of the Contract price, less i) any amounts paid by the Owner to the Principal; ii) costs incurred by the Owner in correcting the defective work; iii) any additional legal, design professional or other costs incurred by the Owner resulting from Principal's default; and iv) any liquidated damages caused by the delayed performance or nonperformance of the Principal. Any progress payments, less retainage, due but not paid at the date of termination shall be paid to the Surety so long as the Surety has agreed to indemnify the Owner for the amount thereof and no other claims have been made to such funds by subcontractors or suppliers in accordance with the Contract or any applicable law. In the event that the Surety elects not to complete the Contract, the Owner may then have work completed by such means and in such manner, as it may deem advisable. The Surety, in such event, shall at all times make available, as work progresses under the Contract between the Owner and new contractor, sufficient funds to pay the cost of completion of the Contract pursuant to the its terms together with the other amounts set forth above, but in no event shall the Surety be responsible for the payment of any sums to the Owner until the Owner has paid in full its total obligation under the terms of the original Contract, plus Change Orders or amendments less deductions and claims chargeable by law or by the Contract, if any, and less the retainage which will be disbursed as provided by the Contract and any applicable law.

Any proceeding, whether legal or equitable, under this Bond, except for claims for payment of labor and material, or copyright or patent infringement, must be instituted before the expiration of two (2) years from the date on which final payment under the Contract falls due.


Further, the above named Principal and Surety hereby jointly and severally agree with the Owner that the Principal shall promptly make payment to all persons, firms, subcontractors, and corporations furnishing materials for or performing labor in the prosecution of the work provided for in such Contract ("claimant"), and any authorized extension or modification thereof, including all amounts due for materials, lubricants, oil, gasoline, repairs or machinery, equipment and tools, consumed or used in connection with the construction of such work, whether by subcontractor or otherwise, then this obligation shall be void; otherwise to remain in full force and effect.

The above-named Principal and Surety hereby jointly and severally agree with the Owner that every claimant, who has not been paid in full at any time up to and including the time of final settlement for the work contracted to be done, file with the Owner, a verified statement of the amount due and unpaid in accordance with Section 38-26-107, C.R.S. Provided, further, that no final settlement between the Owner and the Principal shall abridge the right of any beneficiary hereunder, whose claim may be unsatisfied. The Owner shall not be liable for the payment of any costs, attorney fees, or other expenses of any such legal remedies a claimant may have against the Principal or Surety.

SIGNED this 8 day of June 2026.

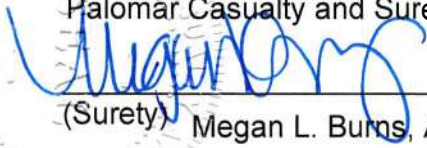
In the presence of:

West Fork Construction LLC



(Contractor / Principal)

Palomar Casualty and Surety Company



(Surety) Megan L. Burns, Attorney-in-Fact

(Accompany this Bond with Attorney in-fact's authority from the Surety to execute the Bond, certified to include the date of the Bond.)

APPROVED FOR THE OWNER:

BRENT SODERLIN
DIRECTOR OF PUBLIC WORKS AND UTILITIES

**PALOMAR SPECIALTY INSURANCE COMPANY
PALOMAR CASUALTY AND SURETY COMPANY**

POWER OF ATTORNEY FOR BONDS AND UNDERTAKINGS

Bond Number: GSH8100156 **Principal:** West Fork Construction LLC
Description: Euclid Avenue Roadway Improvements Phase II - Cherokee Street to Broadway Project

KNOW ALL BY THESE PRESENTS, THAT Palomar Specialty Insurance Company, a corporation duly organized and existing under the laws of the State of Oregon ("PSIC"), and Palomar Casualty and Surety Company, duly organized and existing under the laws of Louisiana, ("PCSC" and together with PSIC, the "Companies" or each "Company"), do hereby make, constitute, and appoint:

Edward Maxfield, Thomas W. Patton and Megan L. Burns

on behalf of the Companies named above its true and lawful Attorney(s)-in-Fact, to make, execute, seal and deliver, for and on its behalf and as its deed, bonds, or other writings obligatory in the nature of a bond, as surety, contracts of suretyship as are or may be required or permitted by law, regulation, contract or otherwise, provided that no bond or undertaking or contract of suretyship executed under this authority shall exceed the amount of \$75,000,000.00.

This Power of Attorney is granted and is signed by facsimile or other electronic transmission under and by the authority of the following Joint Resolutions adopted by the Boards of Directors of Palomar Specialty Insurance Company and Palomar Casualty and Surety Company at meetings duly called and held on the 13th day of March, 2026.

RESOLVED, that any President, or any Executive Vice President, or any Secretary specially authorized to do so by the Boards of Directors of the Companies, and Cullen S. Piske, President of PCSC, be and each of them hereby is authorized and empowered to appoint Attorneys-in-Fact as the business of the Companies may require, or to authorize any person(s) to execute and deliver on behalf of the Companies any bonds, undertakings, and all contracts relating to the surety business of the Companies, and that each or any of them is further authorized to attest to the execution of such Power of Attorney, and to attach the seal of each respective Company thereto.

FURTHER RESOLVED, that the signatures and attestations of such officers and the seal of each Company may be affixed to any such Power of Attorney or to any certificate relating thereto by electronic means and any such Power of Attorney or certificate bearing such electronic signatures or electronic seal shall be valid and binding upon each Company with respect to any bond, undertaking, recognizances or other contract of indemnity of writing obligatory in the nature thereof.

Cullen S. Piske
President
Palomar Casualty and Surety Company



State of Louisiana
Parish of St. Tammany

On this 13th day of March, 2026, before me, a Notary Public, personally appeared Cullen S. Piske, President of Palomar Casualty and Surety Company, personally known to me, being duly sworn, acknowledged that they signed the above Power of Attorney and affixed the seals of the Company as an officer of, and acknowledged said instrument to be the voluntary act and deed, of the Company.



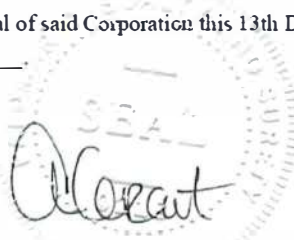
Leigh Anne Henican
Notary Public
Notary ID No. 92653
Orleans Parish, Louisiana

Leigh Anne Henican
Notary Public, Parish of Orleans State of Louisiana
My Commission is for Life

I, Angela Grant, Secretary of Palomar Specialty Insurance Company, do hereby certify that the foregoing Joint Resolutions were adopted by the Boards of Directors of the Companies and the Powers of Attorney issued pursuant thereto, are true and correct and that both the Joint Resolution and the Powers of Attorney are in full force and effect.

IN WITNESS WHEREOF, I have herewith set my hand and affixed the seal of said Corporation this 13th Day of March, 2026.

Dated and effective this _____ day, of _____, _____.



Angela Grant
Secretary



**PERFORMANCE AND PAYMENT BOND
SURETY AUTHORIZATION**

City of Littleton
City Manager
2255 West Berry Avenue
Littleton, CO 80120

RE: **West Fork Construction LLC**

City Project: # **26-07**

Project Name: **Euclid Avenue Roadway Improvements Phase II - Cherokee Street to Broadway Project**

Contract Amount: **\$1,326,682.50**

Performance and Payment Bond No.: **GSH8100156**

Dear Assistant City Attorney,

The Performance and Payment Bonds covering the above captioned project were executed by this agency, through Palomar Casualty and Surety Company, on June 3, 2026.

We hereby authorize the City of Littleton, Colorado, to date all bonds and powers of attorney to coincide with the date of the contract.

If you should have any additional questions or concerns, please don't hesitate to give me a call at 303-520-0249.

Thank you.

Sincerely,



Thomas W. Patton

Attorney-in-fact



PoDI / NHS

FHWA PROJECT OF DIVISION INTEREST (PoDI)?	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES
NATIONAL HIGHWAY SYSTEM?	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES

EUCLID AVE IMPROVEMENTS – PHASE 2 FROM CHEROKEE ST TO BROADWAY LITTLETON, COLORADO

PUBLIC WORKS & ENGINEERING
LITTLETON PROJECT NO. 26-07

FOR BURIED UTILITY INFORMATION
THREE (3) BUSINESS DAYS
BEFORE YOU DIG
CALL 811
(or 1-800-922-1987)
UTILITY NOTIFICATION
CENTER OF COLORADO (UNCC)
www.uncc.org

TABULATION OF LENGTH		
STATION	LENGTH	
	LINEAR FEET	MILES
ROADWAY IMPROVEMENTS		
BEGIN – STA 14+33.00	1,191.55	0.23
END – STA 26+24.55		
TOTAL PROJECT LENGTH	1,191.55	0.23

LITTLETON DESIGN DATA	
DESIGN SPEED	20 MPH

DESIGNER CERTIFICATION:

I HEREBY CERTIFY THAT THIS GRADING, SEDIMENT AND EROSION CONTROL PLAN WAS PREPARED BY ME (OR UNDER MY DIRECT SUPERVISION) IN ACCORDANCE WITH THE PROVISIONS OF THE CITY OF LITTLETON'S STORM DRAINAGE DESIGN AND CRITERIA MANUAL FOR THE OWNERS THEREOF.

ENGINEER OF RECORD SIGNATURE

DATE

STATE OF COLORADO PE NO.

PROPERTY OWNER CERTIFICATION:

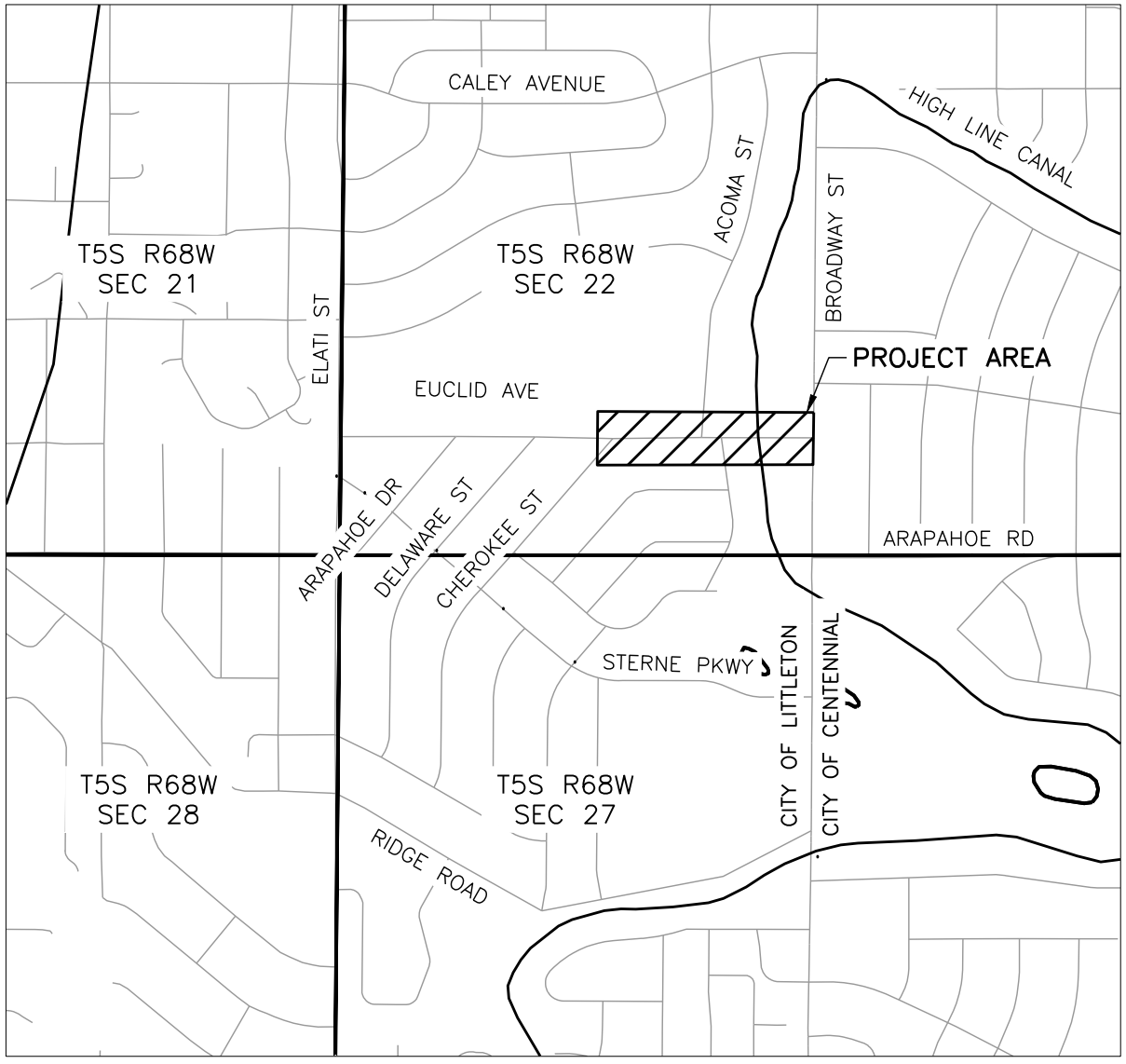
I HEREBY CERTIFY THAT THIS GRADING, SEDIMENT AND EROSION CONTROL PLAN FOR THE EUCLID AVE IMPROVEMENTS PROJECT – PHASE 1 IS MY RESPONSIBILITY TO IMPLEMENT AND MAINTAIN, AND I ACCEPT ALL OF THE TERMS OF THE GRADING, EROSION, AND SEDIMENT CONTROL GENERAL NOTES. I UNDER

PROPERTY OWNER PRINTED NAME

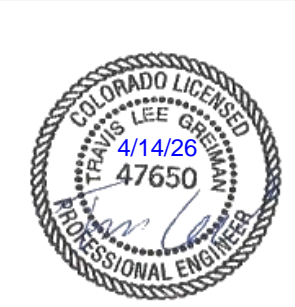
DATE

PROPERTY OWNER SIGNATURE

ADDRESS



INDEX OF SHEETS	
SHEET NO.	TITLE
1	COVER SHEET
2	M&S STANDARDS LIST
3-4	GENERAL NOTES
5-8	SUMMARY OF APPROXIMATE QUANTITIES
9-11	TABULATION OF ROADWAY QUANTITIES
12	TOPOGRAPHIC SURVEY PLAN
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16-17	HORIZONTAL CONTROL PLANS
18-20	REMOVAL PLANS
21-26	ROADWAY PLAN AND PROFILES
27-51	ROADWAY DETAILS
52	STORM SEWER PLAN AND PROFILE
53	STORM SEWER DETAILS
54-57	SIGNING AND PAVEMENT MARKING TABULATIONS
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70	PHASING PLAN
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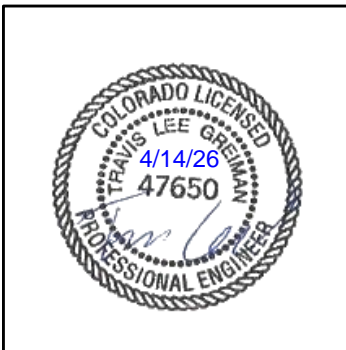
Y:\Colorado\15X-205\1525-201872.18-Euclid_School\Eng_Docs\Drawings\Phase 2\1525-201872.18-CD-01-COVER.dwg - Current tab: 1 - Print Time: Tue, 14 Apr 2026 - 8:48am By: liehto Lost Save: Mon, 13 Apr 2026 - 5:49pm

Print Date: 4/14/2026	Sheet Revisions	As Constructed	EUCLID AVE IMPROVEMENTS – PHASE 2	Project No.
File Name: 1525-201872.18-CD-01-COVER.dwg	Date Comments Initials	No. Revisions:	COVER SHEET	26-07
Horizontal Scale: 1"=1000' Vertical Scale:	(R-X)	Revised:	Designer: LML	Sheet Number: 1 of 73
		Void:	Detailer: LML	
5660 Greenwood Plaza Blvd, 400N Greenwood Village, Colorado 80111 (303) 771-6868			Sheet Subset: COVER Subset Sheet Number: 1 of 1	

Public Works & Engineering
2255 W Berry Avenue
Littleton, Colorado 80120

Y:\Colorado\15X-205\1525-201872.18-CD-02-M&S STANDARDS.dwg - Current tab: 2 - Print Time: Tue, 14 Apr 2026 - 8:50am By: llehto Lost Save: Mon, 13 Apr 2026 - 5:45pm

PLAN NUMBER	M STANDARD TITLE	PAGE NUMBER	PLAN NUMBER	M STANDARD TITLE	PAGE NUMBER	PLAN NUMBER	S STANDARD TITLE	PAGE NUMBER
<input checked="" type="checkbox"/> M-100-1	STANDARD SYMBOLS (3 SHEETS)	1-3	<input type="checkbox"/> M-603-12	TRAVERSABLE END SECTIONS AND SAFETY GRATES (3 SHEETS)	62-64	<input type="checkbox"/> S-612-1	DELINEATOR INSTALLATIONS (8 SHEETS) (REV. ON APR. 3, 2025)	171-178
<input checked="" type="checkbox"/> M-100-2	ACRONYMS AND ABBREVIATIONS (4 SHEETS)	4-7	<input type="checkbox"/> M-604-10	INLET, TYPE C	65	<input type="checkbox"/> S-613-1	ROADWAY LIGHTING (6 SHEETS) (REVISED ON APRIL 3, 2025)	179-186
<input type="checkbox"/> M-203-1	APPROACH ROADS	8	<input type="checkbox"/> M-604-11	INLET, TYPE D	66	<input type="checkbox"/> S-613-2	ALTERNATIVE ROADWAY LIGHTING (4 SHEETS) (ISSUED ON SEP. 30, 2020)	
<input type="checkbox"/> M-203-2	DITCH TYPES	9	<input type="checkbox"/> M-604-12	CURB INLET TYPE R (2 SHEETS)	67-68	<input type="checkbox"/> S-613-3	PULL BOX DETAIL (2 SHEETS) (ISSUED ON APRIL 4, 2024)	
<input type="checkbox"/> M-203-11	SUPERELEVATION CROWNED AND DIVIDED HIGHWAYS (3 SHEETS)	10-12	<input type="checkbox"/> M-604-13	CONCRETE INLET TYPE 13	69	<input type="checkbox"/> S-613-4	TRAFFIC SIGNAL ONE-LINE DIAGRAMS (6 SHEETS) (ISS. ON JUNE 15, 2023)	
<input type="checkbox"/> M-203-12	SUPERELEVATION STREETS (2 SHEETS)	13-14	<input type="checkbox"/> M-604-20	MANHOLES (3 SHEETS)	70-72	<input checked="" type="checkbox"/> S-614-1	GROUND SIGN PLACEMENT (2 SHEETS) (REVISED ON JAN. 9, 2026)	187-188
<input type="checkbox"/> M-206-1	EXCAVATION AND BACKFILL FOR STRUCTURES (2 SHEETS)	15-16	<input type="checkbox"/> M-604-25	VANE GRATE INLET (5 SHEETS) (REV. ON FEB. 3, 2023)	73-77	<input checked="" type="checkbox"/> S-614-2	CLASS I SIGNS (REVISED ON MARCH 1, 2024)	189
<input type="checkbox"/> M-206-2	EXCAVATION AND BACKFILL FOR BRIDGES (2 SHEETS)	17-18	<input type="checkbox"/> M-605-1	SUBSURFACE DRAINS	78	<input checked="" type="checkbox"/> S-614-3	CLASS II SIGNS (REVISED ON MARCH 1, 2024)	190
<input checked="" type="checkbox"/> M-208-1	TEMPORARY EROSION CONTROL (11 SHEETS) (REVISED ON MAY 16, 2024)	19-29	<input type="checkbox"/> M-606-1	MIDWEST GUARDRAIL SYSTEM TYPE 3 W-BEAM 31 INCHES (19 SHEETS) (REVISED ON MARCH 5, 2020)	79-97	<input type="checkbox"/> S-614-4	CLASS III SIGNS (3 SHEETS) (REVISED ON MARCH 1, 2024)	191-193
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<input type="checkbox"/> M-214-1	NURSERY STOCK DETAILS	32	<input type="checkbox"/> M-606-14	PRECAST TYPE 7 CONCRETE BARRIER (4 SHEETS) (REVISED ON FEBRUARY 9, 2023)	102-104	<input type="checkbox"/> S-614-6	CONCRETE FOOTINGS AND SIGN ISLANDS FOR CLASS III SIGNS (2 SHEETS)	196-197
<input type="checkbox"/> M-216-1	SOIL RETENTION COVERING (2 SHEETS)	33-34	<input type="checkbox"/> M-606-15	GUARDRAIL TYPE 9 SINGLE SLOPE BARRIER (11 SHEETS) (REVISED ON FEBRUARY 17, 2023)	105-115	<input type="checkbox"/> S-614-8	TUBULAR STEEL SIGN SUPPORT DETAILS (7 SHEETS) (REVISED ON MARCH 1, 2024)	198-204
<input type="checkbox"/> M-400-1	SAFETYEDGE FOR PAVEMENT (NEW, ISSUED ON APRIL 25, 2025)		<input type="checkbox"/> M-607-1	WIRE FENCES AND GATES (3 SHEETS)	116-118	S-614-9	PEDESTRIAN PUSH BUTTON POST ASSEMBLY (2 SHEETS) (SUPERSEDED ON JANUARY 22, 2020 BY S-614-45)	205-206
<input checked="" type="checkbox"/> M-412-1	CONCRETE PAVEMENT JOINTS (9 SHEETS) (REVISED ON JANUARY 31, 2022)	35-39	<input type="checkbox"/> M-607-2	CHAIN LINK FENCE (3 SHEETS)	119-121	<input type="checkbox"/> S-614-10	MARKER ASSEMBLY INSTALLATIONS	207
<input type="checkbox"/> M-412-2	CONCRETE PAVEMENT CRACK REPAIR (6 SHEETS) (REVISED ON SEPTEMBER 6, 2022)		<input type="checkbox"/> M-607-3	BARRIER FENCE	122	<input type="checkbox"/> S-614-11	MILEPOST SIGN DETAIL FOR HIGH SNOW AREAS	208
<input type="checkbox"/> M-510-1	STRUCTURAL PLATE PIPE H-20 LOADING	40	<input type="checkbox"/> M-607-4	DEER FENCE, GATES, AND GAME RAMPS (7 SHEETS) (REVISED ON JULY 13, 2020)	123-127	<input type="checkbox"/> S-614-12	STRUCTURE NUMBER INSTALLATION (2 SHEETS)	209-210
<input type="checkbox"/> M-601-1	SINGLE CONCRETE BOX CULVERT (CAST-IN-PLACE) (2 SHEETS)	41-42	<input type="checkbox"/> M-607-10	PICKET SNOW FENCE	128	<input checked="" type="checkbox"/> S-614-14	FLASHING BEACON AND SIGN INSTALLATIONS (4 SHEETS) (REVISED ON JANUARY 9, 2026)	211-214
<input type="checkbox"/> M-601-2	DOUBLE CONCRETE BOX CULVERT (CAST-IN-PLACE) (2 SHEETS)	43-44	<input type="checkbox"/> M-607-15	ROAD CLOSURE GATE (9 SHEETS)	129-137	<input type="checkbox"/> S-614-15	CHAIN STATION SIGNAGE (ISSUED ON APRIL 30, 2024)	
<input type="checkbox"/> M-601-3	TRIPLE CONCRETE BOX CULVERT (CAST-IN-PLACE) (2 SHEETS)	45-46	<input checked="" type="checkbox"/> M-608-1	CURB RAMPS (10 SHEETS)	138-147	<input type="checkbox"/> S-614-17	RADAR SPEED FEEDBACK SIGN (RSFS) (3 SHEETS) (NEW, ISSUED ON JAN. 9, 2026)	
<input type="checkbox"/> M-601-10	HEADWALL FOR PIPES	47	<input checked="" type="checkbox"/> M-609-1	CURBS, GUTTERS, AND SIDEWALKS (4 SHEETS)	148-151	<input type="checkbox"/> S-614-19	LATE/ZIPPER MERGE SIGNAGE (ISSUED ON SEPT. 22, 2025)	
<input type="checkbox"/> M-601-11	TYPE "S" SADDLE HEADWALLS FOR PIPE	48	<input type="checkbox"/> M-611-1	CATTLE GUARD (2 SHEETS)	152-153	<input type="checkbox"/> S-614-20	TYPICAL POLE MOUNT SIGN INSTALLATIONS (REVISED ON MARCH 1, 2024)	215
<input type="checkbox"/> M-601-12	HEADWALLS AND PIPE OUTLET PAVING	49	<input type="checkbox"/> M-611-2	DEER GUARD (2 SHEETS)	154-155	<input type="checkbox"/> S-614-21	CONCRETE BARRIER SIGN POST INSTALLATIONS (2 SHEETS) (REVISED ON SEPTEMBER 21, 2020)	216-217
<input type="checkbox"/> M-601-20	WINGWALLS FOR PIPE OR BOX CULVERTS (2 SHEETS)	50-51	<input type="checkbox"/> M-613-1	SUPERSEDED WITH S-613-1 AND S-613-2 IN JULY 2019		<input type="checkbox"/> S-614-22	TYPICAL MULTI-SIGN INSTALLATIONS	218
<input type="checkbox"/> M-603-1	METAL PIPE (4 SHEETS)	52-55	<input type="checkbox"/> M-614-1	RUMBLE STRIPS (3 SHEETS)	156-158	<input type="checkbox"/> S-614-23	J-POST SIGN SUPPORT (3 SHEETS) (ISSUED ON MARCH 1, 2024)	
<input checked="" type="checkbox"/> M-603-2	REINFORCED CONCRETE PIPE	56	<input type="checkbox"/> M-614-2	SAND BARREL ARRAYS (2 SHEETS)	159-160	<input type="checkbox"/> S-614-40	TYPICAL TRAFFIC SIGNAL 30'-75' DOUBLE MAST ARMS 65'-75' SINGLE MAST ARMS (5 SHEETS) (REVISED ON JAN. 9, 2026)	219-223
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<input type="checkbox"/> M-603-6	STEEL REINFORCED POLYETHYLENE RIBBED PIPE (AASHTO MP 20)	60	<input type="checkbox"/> M-620-1	FIELD LABORATORY CLASS 1	164	<input type="checkbox"/> S-614-43	TRAFFIC LOOP AND MISCELLANEOUS SIGNAL DETAILS (8 SHEETS) (REVISED ON JANUARY 9, 2026)	245-252
<input checked="" type="checkbox"/> M-603-10	CONCRETE AND METAL END SECTIONS	61	<input type="checkbox"/> M-620-2	FIELD LABORATORY CLASS 2 (2 SHEETS)	165-166	<input type="checkbox"/> S-614-44	PEDESTAL POLE SIGNALS (2 SHEETS) (REV. ON JAN. 9, 2026)	253-254
			<input type="checkbox"/> M-620-11	FIELD OFFICE CLASS 1	167	<input type="checkbox"/> S-614-45	PEDESTRIAN PUSH BUTTON POST ASSEMBLY DETAILS (6 SHEETS) (REVISED ON JANUARY 9, 2026)	255-266
			<input type="checkbox"/> M-620-12	FIELD OFFICE CLASS 2	168	<input type="checkbox"/> S-614-50	STATIC SIGN MONOTUBE STRUCTURES (12 SHEETS)	267-280
			<input checked="" type="checkbox"/> M-629-1	SURVEY MONUMENTS (2 SHEETS)	169-170	<input type="checkbox"/> S-614-60	DYNAMIC SIGN MONOTUBE STRUCTURES (14 SHEETS)	281-289



MY RESPONSIBILITY WITH RESPECT TO THIS PLAN SHEET IS LIMITED TO THE SELECTION OF THE STANDARD PLANS FOR THIS PROJECT AND A DETERMINATION THAT THE SELECTION IS APPROPRIATE FOR THE PROJECT.

COLORADO DEPARTMENT OF TRANSPORTATION M&S STANDARDS PLANS LIST July 31, 2019 Revised on January 16, 2026

ALL OF THE M&S STANDARD PLANS, AS SUPPLEMENTED AND REVISED, APPLY TO THIS PROJECT WHEN USED BY DESIGNATED PAY ITEM OR SUBSIDIARY ITEM.

THE M&S STANDARD PLANS USED TO DESIGN THIS PROJECT ARE INDICATED BY A MARKED BOX, AND WILL BE ATTACHED TO THE PLANS. ALL OTHER M&S STANDARD PLANS ARE STILL ELIGIBLE FOR USE IN CONSTRUCTION IF APPROVED BY AN APPROPRIATE CDOT ENGINEER.

Print Date: 4/14/2026 File Name: 1525-201872.18-CD-02-M&S STANDARDS.dwg Horizontal Scale: Vertical Scale: benesch 5660 Greenwood Plaza Blvd, 400N Greenwood Village, Colorado 80111 (303) 771-6868

Sheet Revisions table with columns: Date, Comments, Initials. Includes a revision entry with 'R-X' and empty fields for date and comments.

Littleton Colorado Public Works & Engineering 2255 W Berry Avenue Littleton, Colorado 80120

As Constructed table with columns: No. Revisions, Revised, Void, Designer, Detailer, Sheet Subset, M&S, Structure Numbers, Subset Sheet Number, Project No. (26-07), Sheet Number (2 of 73).

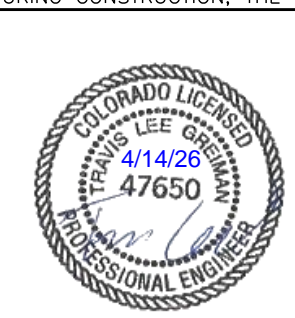
Y:\Colorado\15X-205\1525-201872-18_Eucild_School_Eng_Docs\Drawings\Phase 2\1525-201872-18-CD-03-GENERAL NOTES.dwg - Current tab: 3 - Print Time: Tue, 14 Apr 2026 - 8:50am By: liehto Lost Sovere Mon, 13 Apr 2026 - 5:48pm

GENERAL NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2023 EDITION, THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), CURRENT EDITION, THE PROJECT SPECIAL PROVISIONS, AND THE CDOT M&S STANDARDS PLANS.
2. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND ACCEPTANCE BY THE ENGINEER.
3. THE CONTRACTOR SHALL KEEP A COPY OF THE COLORADO DEPARTMENT OF TRANSPORTATION PLANS AND SPECIFICATIONS ON SITE AT ALL TIMES.
4. ALL WORK SHALL BE DONE TO THE LINES, GRADES, SECTIONS, AND ELEVATIONS SHOWN ON THE PLANS. THE ENGINEER MUST APPROVE, PRIOR TO CONSTRUCTION, ANY ALTERATION OR VARIANCE FROM THESE PLANS. ANY VARIATIONS FROM THESE PLANS SHALL BE PROPOSED IN CONSTRUCTION FIELD PRINTS AND TRANSMITTED TO THE ENGINEER.
5. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE COMMENCING THE WORK. NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGNS ARE TO BE MADE WITHOUT PRIOR APPROVAL AND NOTIFICATION OF THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE ENGINEER WAS NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
6. ALL WORK SHALL BE CONDUCTED WITHIN THE PUBLIC RIGHT-OF-WAY WITH THE APPROPRIATE PUBLIC PERMITS ON THE JOB SITE AT ALL TIMES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH STANDARD SPECIFICATION 107.01 AND 107.02.
7. ANY FACILITIES DAMAGED DURING THE COURSE OF CONSTRUCTION AS A RESULT OF THE CONTRACTOR'S OPERATION ARE TO REMAIN, INCLUDING CURB AND GUTTER, SIDEWALK, CURB RAMP, ASPHALT CONCRETE PAVEMENT, LANDSCAPING, AND LAWN IRRIGATION, SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION IMMEDIATELY AND PRIOR TO CONTINUING OTHER WORK.
8. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE PERMITS NEEDED TO COMPLETE THE PROJECT. COSTS FOR OBTAINING PERMITS SHALL BE INCLUDED IN THE COST OF THE PROJECT.
9. THERE WILL BE NO STOCKPILING OR SIDE CASTING OF WASTE MATERIALS WITHIN PUBLIC RIGHT-OF-WAY, INCLUDING, BUT NOT LIMITED TO, PAINT CHIPS, CONCRETE, SOILS, TRAFFIC SIGNAL EQUIPMENT, SIGNAGE, ETC., THAT COULD POTENTIALLY RESULT FROM PROJECT ACTIVITIES. REMOVAL IS INCIDENTAL AND NOT AN ADDITIONAL COST TO THE PROJECT.
10. THE CONTRACTOR SHALL LIMIT CONSTRUCTION ACTIVITIES TO THOSE AREAS WITHIN THE LIMITS OF DISTURBANCE AND/OR TOES OF SLOPES AS SHOWN ON THE PLANS. ANY DISTURBANCE BEYOND THESE LIMITS SHALL BE RESTORED TO ORIGINAL CONDITIONS AT THE CONTRACTOR'S EXPENSE. CONSTRUCTION ACTIVITIES, IN ADDITION TO NORMAL CONSTRUCTION PROCEDURES, SHALL INCLUDE THE PARKING OF VEHICLES OR EQUIPMENT, DISPOSAL OF LITTER AND ANY OTHER ACTION WHICH WOULD ALTER EXISTING CONDITIONS, WHERE APPROVED.
11. ANY MUD OR OTHER MATERIAL TRACKED OR OTHERWISE DEPOSITED ON THE ROADWAY SHALL BE REMOVED AS DIRECTED BY THE INSPECTOR. REMOVAL IS INCIDENTAL AND NOT AN ADDITIONAL COST TO THE PROJECT.
12. WATER SHALL BE USED AS A DUST PALLIATIVE WHERE REQUIRED TO REDUCE MIGRATION OF AIR BORNE SOIL PARTICLES. THE CONTRACTOR SHALL PROVIDE WATER AS A DUST PALLIATIVE AS DIRECTED BY THE ENGINEER. WATER AS A DUST PALLIATIVE WILL NOT BE MEASURED AND PAID FOR SEPARATELY BUT SHALL BE INCLUDED IN THE WORK.
13. ALL LANDSCAPING WITHIN THE PROJECT AREA THAT IS DAMAGED, NOT SPECIFIED FOR REMOVAL, OR REQUIRES RESTORATION FOLLOWING CONSTRUCTION OPERATIONS, SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE ENGINEER AND SHALL BE PAID FOR AS LANDSCAPE RESTORATION - 1 LUMP SUM. SEEDING, MULCHING, AND SOD WILL BE PAID FOR SEPARATELY.
14. WHERE IT IS REQUIRED TO CUT ROADWAY PAVEMENT, OR SIDEWALK/CURB/GUTTER, THE CUTTING SHALL BE PERFORMED TO A NEAT WORK LINE TO THE FULL DEPTH OF THE PAVEMENT WITH A PAVEMENT CUTTING SAW OR OTHER METHOD AS APPROVED BY THE PROJECT ENGINEERING. THIS WORK WILL NOT BE PAID FOR SEPARATELY, BUT SHALL BE INCLUDED IN THE COST OF THE WORK. ALL SAWCUT RESIDUE SHALL BE PROPERLY CONTAINED AND NOT ALLOWED TO DRAIN TO ANY LIVE TRAFFIC LANES, STORM DRAINS, OR WATER WAYS PER 101, 107, AND 208 SPECIFICATIONS.
15. THE CONTRACTOR SHALL USE AN APPROPRIATE AND APPROVED MEANS FOR THE CAPTURING AND REMOVAL OF ANY AND ALL CONCRETE WASHOUT. THE DUMPING OF THE CONCRETE WASHOUT OR WATER ONTO THE SITE OR INTO THE MATERIAL STOCKPILE WILL NOT BE ACCEPTABLE.
16. ANY REMAINING/EXCESS SOIL, CONCRETE, OR OTHER DEBRIS LEFT BY THE CONCRETE TRUCK AS IT IS BEING WASHED OUT SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED OFF-SITE INCIDENTAL TO THE PROJECT.
17. EROSION/SEDIMENT CONTROL MEASURES MUST BE IMPLEMENTED BEFORE CONSTRUCTION OPERATIONS BEGIN. ALL EROSION/SEDIMENT CONTROL BMPs SHALL BE PLACED AS NEEDED AND AS APPROVED BY THE PROJECT ENGINEER. ALL EROSION/SEDIMENT CONTROL AND STORM WATER RESPONSIBILITIES ARE AS STATED IN THE STORMWATER MANAGEMENT PLAN AND SPECIFICATIONS 101, 107, AND 208.
18. FINAL GRADING OF PAVING SHALL PROVIDE POSITIVE DRAINAGE. WATER POCKETS AND POOLING OF WATER ON THE ROADWAY, RAMPS, OR SIDEWALK WILL NOT BE ACCEPTED AND SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. A SOLUTION SHALL BE PROPOSED AND MUST BE APPROVED BY THE ENGINEER PRIOR TO CORRECTION.

GENERAL NOTES (CONT'D):

19. FOR PLAN QUANTITIES OF PAVEMENT MATERIALS, THE FOLLOWING RATES OF APPLICATION WERE USED:
 - AGGREGATE BASE COURSE @ 133 LBS/CU. FT.
 - HOT MIX ASPHALT @ 110 LBS/SY/INCH
 - TACK COAT DILUTED EMULSIFIED ASPHALT (SLOW-SETTING) @ 0.1 GAL/SY
20. A TACK COAT OF EMULSIFIED ASPHALT (SLOW-SETTING) SHALL BE APPLIED TO IMPROVE THE BOND AT THE FOLLOWING LOCATIONS:
 - BEFORE PLACING NEW PAVEMENT OVER EXISTING PAVEMENT
 - ALONG THE FACE OF ALL CURBS, GUTTERS, MANHOLES, ADJACENT EXISTING PAVEMENT, AND OTHER SURFACES WITH WHICH ASPHALT WILL BE PLACED
 - BETWEEN PAVEMENT COURSES WHEN DIRECTED BY THE ENGINEER
 - TACK COAT SHALL BE INCLUDED IN THE PRICE OF HOT MIX ASPHALT PAY ITEMS
21. ALL RANGE POINTS, TIES, BENCHMARKS, OR OTHER SURVEY CONTROL POINTS WHICH MAY BE ENCOUNTERED DURING CONSTRUCTION SHALL BE PRESERVED.
22. THE CONTRACTOR SHALL PROTECT ALL EXISTING SURVEY, RIGHT-OF-WAY, AND SECTION CORNER MONUMENTATION DURING CONSTRUCTION OPERATION UNLESS INSTRUCTED OTHERWISE. ANY MONUMENTS DISTURBED BY CONSTRUCTION OPERATIONS SHALL BE RESET BY A COLORADO LICENSED SURVEYOR AT THE CONTRACTORS EXPENSE. THE CONTRACTOR SHALL NOTE ALL MONUMENTS IN THE FIELD PRIOR TO CONSTRUCTION.
23. NO CONSTRUCTION VEHICLES SHALL BE IN THE TRAVELED WAY AT ANY TIME WITHOUT CONSTRUCTION TRAFFIC CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING APPROVED TRAFFIC CONTROL PLANS FROM THE CITY. TRAFFIC CONTROL SHALL FOLLOW MUTCD STANDARDS. ALL TRAFFIC CONTROL PLANS SHALL BE SUBMITTED TO THE CITY AND APPROVED BY THE CITY PRIOR TO THE COMMENCEMENT OF WORK.
24. THE CONTRACTOR SHALL FURNISH, INSTALL, AND MAINTAIN TEMPORARY TRAFFIC CONTROL DEVICES NECESSARY THROUGHOUT THE DURATION OF CONSTRUCTION IN CONFORMANCE WITH TRAFFIC CONTROL PLANS.
25. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL AGENCY NOISE ORDINANCES AND/OR OTHER RESTRICTIONS APPLICABLE TO NIGHTTIME CONSTRUCTION ACTIVITIES FOR PROJECTS WITHIN THE LOCAL MUNICIPAL COVERAGE AREAS. THE CONTRACTOR SHALL COORDINATE WITH THE CITY FOR ALL NECESSARY NOISE EXEMPTIONS OR NOTICES, NOISE PERMIT VARIANCES, AND APPROVALS TO DO NIGHT WORK AS REQUIRED.
26. FOR THIS PROJECT, NIGHT WORK WILL NOT BE ALLOWED.
27. THE CONTRACTOR SHALL CONTROL FUGITIVE DUST THROUGH IMPLEMENTATION PER 107, 209, AND 250 SPECIFICATIONS AND THE AIR POLLUTION CONTROL DIVISION'S AIR POLLUTANT EMISSION NOTIFICATION (APEN) REQUIREMENTS.
28. THE FOLLOWING BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED DURING CONSTRUCTION:
 - MAINTAIN ENGINES AND EXHAUST SYSTEMS ON CONSTRUCTION EQUIPMENT AND VEHICLES IN GOOD WORKING ORDER. PROHIBIT TAMPERING WITH EQUIPMENT TO INCREASE HORSEPOWER OR DISABLING EMISSION CONTROL DEVICES. EQUIPMENT IS SUBJECT TO INSPECTION BY THE PROJECT MANAGER TO ENSURE MAINTENANCE IS CONDUCTED REGULARLY.
 - PROHIBIT UNNECESSARY IDLING OF CONSTRUCTION EQUIPMENT AND VEHICLES.
 - LOCATE STAGING AREAS AND STATIONARY CONSTRUCTION EQUIPMENT/DIESEL ENGINES AS FAR AS POSSIBLE FROM RESIDENCES AND OTHER SENSITIVE RECEPTORS. COVER, WET, COMPACT, OR USE CHEMICAL STABILIZATION TO CONTROL DUST FROM DISTURBED AREAS AND EXCAVATED MATERIALS.
29. THE CONTRACTOR SHALL ABIDE BY ALL LITTLETON CONSTRUCTION HOUR REQUIREMENTS. SHOULD WEEKEND WORK BE REQUIRED, THE CONTRACTOR SHALL NOTIFY THE CITY IN WRITING 48 HOURS IN ADVANCE. WEEKEND WORK MAY BE GRANTED BY THE CITY ON A CASE-BY-CASE BASIS.
30. THE CONTRACTOR SHALL CALL 811 FOR UTILITY LOCATIONS AT LEAST FIVE (5) WORKING DAYS PRIOR TO ANY DIGGING, NOT INCLUDING THE DAY OF ACTUAL CONTACT.
31. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES IN THE WORK AREA BEFORE COMMENCING WORK AND SHALL BE RESPONSIBLE FOR ANY DAMAGES THERE TO. IF UNDERGROUND UTILITIES ARE EXPOSED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER OF THE FACILITY TO ALLOW INSPECTION OF THE FACILITY FOR DAMAGE.
32. ACCESS TO EUCLID MIDDLE SCHOOL SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. ALL DISTURBED AREAS SHALL BE RESTORED FOLLOWING CONSTRUCTION.
33. THE CONTRACTOR SHALL PERFORM FINISH GRADE (BLUE TOP) SURVEY OF ROADWAY SUBGRADE AND BASE COURSE FOR ACCEPTANCE PRIOR TO ANY PAVING ACTIVITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING 48 HOURS PRIOR TO PAVING ACTIVITIES FOR INSPECTIONS AND ACCEPTANCE OF BLUE TOP SURVEY.
34. THE QUANTITIES FOR HOT MIX ASPHALT AND AGGREGATE BASE COURSE SHALL BE PAID ACCORDING TO THE PLAN QUANTITIES, AS SHOWN IN THE SUMMARY OF APPROXIMATE QUANTITIES (SOAQ). ANY OVERAGES SHALL BE REVIEWED AND APPROVED BY THE PROJECT ENGINEER PRIOR TO PLACEMENT.



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5660 Greenwood Plaza Blvd, 400N Greenwood Village, Colorado 80111 (303) 771-6868				Void:	Detailer: LML			
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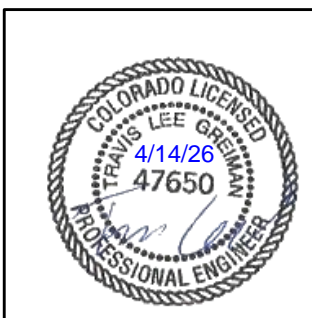
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GRADING, EROSION, AND SEDIMENT CONTROL GENERAL NOTES:

1. THE OPERATOR, PROPERTY OWNER, OR THEIR DESIGNEE IS RESPONSIBLE FOR OBTAINING APPLICABLE PERMITS AND THE INSTALLATION AND MAINTENANCE OF ALL BEST MANAGEMENT PRACTICES (BMPS) FOR EROSION AND SEDIMENT CONTROL, EVEN IF SPECIFIC TASKS MAY BE DESIGNATED TO OTHERS.
2. FOR ALL SITES DISTURBING ONE (1) OR MORE ACRES, THE STATE OF COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) REQUIRES A "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY" PERMIT. A COPY OF THAT ISSUES PERMIT SHALL BE SUBMITTED TO THE ENGINEERING DIVISION PRIOR TO THE ISSUANCE OF A LOCAL CITY PERMIT.
3. ALL BMPS SHOWN ON THE GRADING, EROSION, AND SEDIMENT (GESC) PLANS SHALL BE INSTALLED PROPERLY AND INSPECTED BY A CITY REPRESENTATIVE PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY ON THE SITE THAT DISTURBS THE GROUND. BMPS SHALL BE INSPECTED, CLEANED, AND MAINTAINED BY THE PROPERTY OWNER OR DESIGNEE AS NEEDED DURING CONSTRUCTION.
4. ISSUANCE OF A GRADING OR BUILDING PERMIT WITH AN APPROVED GESC PLAN PROVIDES AUTHORIZATION FOR THE CITY TO ENTER THE PREMISES FOR PURPOSES OF INSPECTION AND COMPLIANCE WITH THE APPROVED PLANS, PROVISIONS OF MUNICIPAL CODE TITLE 7, CHAPTER 7, AND THE CITY'S STORM DRAINAGE DESIGN AND TECHNICAL CRITERIA.
5. THE CITY MAY REQUIRE THAT THE OPERATOR, PROPERTY OWNER, OR THEIR DESIGNEE PROVIDE ADDITIONAL EROSION OR SEDIMENT CONTROL MEASURES, SHOULD WATER OR WIND EROSION PROBLEMS OCCUR OR SHOULD THE IMPLEMENTED GESC PLAN AND BMPS NOT FUNCTION ADEQUATELY OR AS INTENDED.
6. INSPECTIONS AND NEEDED MAINTENANCE OF BMPS ARE REQUIRED A MINIMUM OF EVERY 14 DAYS AND AFTER STORM EVENTS, OR ALTERNATIVELY EVERY SEVEN (7) DAYS. THE CITY RESERVES THE RIGHT TO REQUIRE THE OPERATOR TO SUBMIT COPIES OF INSPECTION REPORTS OR OTHER STORMWATER MANAGEMENT DOCUMENTS AT ANY TIME.
7. GESC PLANS SHALL ACCOMMODATE CONSTRUCTION PHASING, INCLUDING CLEARING AND GRUBBING, UTILITIES, ROADS, VERTICAL CONSTRUCTION, FINAL GRADING, AND STABILIZATION, AND SHALL HAVE REDUNDANT DOWNSLOPE BMPS IN PLACE TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL DURING ALL PHASES.
8. THE OPERATOR, PROPERTY OWNER, OR THEIR DESIGNEE SHALL BE RESPONSIBLE FOR IMPLEMENTATION AND FIELD UPDATES/CHANGES TO THE GESC PLAN THAT INCLUDES THE PLAN VIEW LAYOUT AND INSTALLATION DETAILS OF APPROPRIATE CONTROL MEASURES AND MAINTENANCE PROCEDURE.
9. IF THE OPERATOR, PROPERTY OWNER, OR THEIR DESIGNEE FAILS TO IMPLEMENT ANY OF THE PROVISIONS OF THE SWMP AND IGNORES THE CITY'S VERBAL OR WRITTEN REQUEST FOR IMMEDIATE REMEDY, THE CITY MAY MAKE ARRANGEMENTS TO HIRE A PRIVATE PROPERTY OWNER OR DESIGNEE TO PERFORM MAINTENANCE, INSTALLATION OR REPLACEMENT OF BMPS, OR CLEAN THE PUBLIC WAYS. CHARGES FOR SERVICES SHALL BE SENT TO THE OPERATOR, PROPERTY OWNER, OR THEIR DESIGNEE FOR PAYMENT. ENFORCEMENT PROCEDURES ARE OUTLINED IN LITTLETON MUNICIPAL CODE 7-7-12.
10. THE CITY MAY ISSUES A "STOP WORK" ORDER TO STOP ANY PERMITTED SITE CONSTRUCTION WORK FROM PROCEEDING UNTIL THE BMPS PROVIDED ON THE GESC PLANS ARE INSTALLED, IMPLEMENTED AS INTENDED, MAINTAINED, OR UNTIL CORRECTIVE MEASURES ARE TAKEN AND ANY NECESSARY CLEANUP IS PERFORMED. THE OWNER BEARS ALL COSTS ASSOCIATED WITH ANY DELAYS IN THE PROJECT.
11. THE OPERATOR, PROPERTY OWNER, OR THEIR DESIGNEE SHALL NOT UTILIZE THE PUBLIC STREET AS A STAGING AREA FOR THE TEMPORARY STORAGE OF BUILDING MATERIALS, EXCAVATED MATERIALS, OR CONSTRUCTION EQUIPMENT, EXCEPT AS APPROVED BY THE CITY. USE OF OFFSITE PRIVATE PROPERTY FOR STAGING MAY BE SUBJECT TO REVIEW BY THE COMMUNITY DEVELOPMENT DEPARTMENT.
12. A CONSTRUCTION DEWATERING DISCHARGE PERMIT SHALL BE OBTAINED FROM CDPHE PRIOR TO PUMPING ANY SURFACE OR SUB-SURFACE WATER INTO ANY CITY PUBLIC WAY OR STORM DRAINAGE SYSTEM. ADEQUATE SEDIMENT CONTROL BMPS SHALL BE REQUIRED AT THE PUMP'S INLET AND OUTLET.
13. ALL SOIL AREAS DISTURBED SHALL BE GRADED, SEEDED, AND MULCHED OR OTHERWISE VEGETATED OR COVERED TO STABILIZE THE GROUND SURFACE WITHIN 14 DAYS OF COMPLETION OF GRADING OPERATIONS. THE CITY SHALL APPROVE THE SEED MIX AND RATE OF APPLICATION PRIOR TO SEEDING THE AREA. IF DISTURBED SOIL AREAS ARE TO BE LEFT DORMANT FOR OVER 14 DAYS, A TEMPORARY STABILIZING COVER IS REQUIRED (THE METHOD TO BE APPROVED BY THE CITY). THE WEEDS ARE NOT AN ACCEPTABLE TEMPORARY OR PERMANENT STABILIZATION COVER.
14. BMPS SHALL REMAIN IN-PLACE AND OPERATIONAL UNTIL ALL SITE PAVING, PERMANENT LANDSCAPING, OR ADEQUATE VEGETATIVE COVER ESTABLISHMENT IS COMPLETED. ADEQUATE VEGETATION COVER IS DEFINED AS A UNIFORM VEGETATIVE COVER WITH A PLANT DENSITY (STEM OR STALKS) OF AT LEAST 70% OF THE PRE-DISTURBANCE CONDITION. TEMPORARY IRRIGATION MAY BE NECESSARY TO ESTABLISH PLANT GROWTH. ADEQUATE VEGETATIVE COVER WILL BE DETERMINED BY CITY STAFF WITH AN ON-SITE INSPECTION PRIOR TO ANY PERMIT RELEASE INCLUDING TERMINATION OF A CDPHE STORMWATER PERMIT.
15. AFTER THE SITE HAS BEEN STABILIZED AS DETERMINED BY CITY STAFF, THE OPERATOR, PROPERTY OWNER, OR THEIR DESIGNEE SHALL REMOVE ALL BMPS AND CLEAN UP ANY STORM SEWERS WHERE CONSTRUCTION SEDIMENT MAY HAVE DEPOSITED.

ASBESTOS ABATEMENT GENERAL NOTES:

1. THERE MAY BE UTILITIES WITHIN THE PROJECT'S LIMITS THAT HAVE ASBESTOS CONTAINING MATERIALS. THE STRUCTURES AND COMPONENTS TO BE DISTURBED MUST BE INSPECTED FOR ASBESTOS BY A STATE-CERTIFIED ASBESTOS INSPECTOR.
2. IF THE AMOUNT OF ASBESTOS-CONTAINING MATERIAL TO BE DISTURBED EXCEEDS THE FOLLOWING TRIGGER LEVELS, AN ABATEMENT CONTRACTOR MUST REMOVE THE MATERIAL.
 -THE TRIGGER LEVELS ARE 260 LINEAR FEET ON PIPES, 160 SQUARE FEET ON OTHER SURFACES, OR THE VOLUME EQUIVALENT OF A 55-GALLON DRUM.
3. A CERTIFIED REMOVAL CONTRACTOR (GENERAL ABATEMENT CONTRACTOR) MUST REMOVE ASBESTOS-CONTAINING MATERIALS THAT ARE REGULATED OR MAY BECOME REGULATED BEFORE THEY ARE DISTURBED BY RENOVATION OR DEMOLITION ACTIVITIES. CONTACT CDPHE OR GO TO THE FOLLOWING WEB SITE FOR A CURRENT LIST OF GENERAL ABATEMENT CONTRACTORS:
WWW.CDPHE.STATE.CO.US/AP/ASBESHOM.ASP
4. A WRITTEN NOTIFICATION TO CDPHE, PAYMENT OF A NOTIFICATION FEE AND TEN (10) WORKING DAYS WAITING PERIOD IS REQUIRED BEFORE THE REMOVAL (ABATEMENT) OF REGULATED ASBESTOS CONTAINING MATERIALS.
5. REGULATED ASBESTOS-CONTAINING WASTE MATERIAL MUST BE DISPOSED OF AT AN APPROVED ASBESTOS WASTE DISPOSAL SITE.



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CONTRACT ITEM NO.	CONTRACT ITEM	UNIT	ROADWAY/TRAFFIC		DRAINAGE		UTILITIES		PROJECT TOTALS	
			PLAN	AS CONST.	PLAN	AS CONST.	PLAN	AS CONST.	PLAN	AS CONST.
202-00010	REMOVAL OF TREE	EA	1						1	
202-00018	REMOVAL OF CHASE DRAIN	EA	1						1	
202-00090	REMOVAL OF DELINEATOR	EA	10						10	
202-00190	REMOVAL OF CONCRETE MEDIAN COVER MAT	SY	28						28	
202-00195	REMOVAL OF MEDIAN COVER	SY	25						25	
202-00200	REMOVAL OF SIDEWALK	SY	287						287	
202-00202	REMOVAL OF GUTTER	LF	65						65	
202-00203	REMOVAL OF CURB AND GUTTER	LF	836						836	
202-00204	REMOVAL OF CURB, GUTTER AND SIDEWALK	LF	1681						1681	
202-00206	REMOVAL OF CONCRETE CURB RAMP	SY	162						162	
202-00210	REMOVAL OF CONCRETE PAVEMENT	SY	236						236	
202-00220	REMOVAL OF ASPHALT MAT	SY	5439						5439	
202-00226	REMOVAL OF ASPHALT MAT (SPECIAL)	SY	85						85	
202-00810	REMOVAL OF GROUND SIGN	EA	13						13	
202-00821	REMOVAL OF SIGN PANEL	EA	5						5	
203-00010	UNCLASSIFIED EXCAVATION (COMPLETE IN PLACE)	CY	2297						2297	
206-00065	STRUCTURE BACKFILL (FLOW-FILL)	CY	50						50	
206-00510	FILTER MATERIAL (CLASS A)	CY			2				2	
207-00205	TOPSOIL	CY	50						50	
208-00008	EROSION LOG TYPE 2 (12 INCH)	LF	691						691	



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Void:

EUCLID AVE IMPROVEMENTS - PHASE 2
 SUMMARY OF APPROXIMATE QUANTITIES

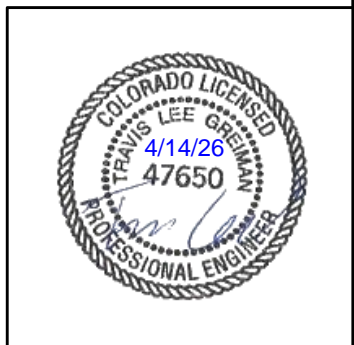
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CONTRACT ITEM NO.	CONTRACT ITEM	UNIT	ROADWAY/TRAFFIC		DRAINAGE		UTILITIES		PROJECT TOTALS	
			PLAN	AS CONST.	PLAN	AS CONST.	PLAN	AS CONST.	PLAN	AS CONST.
208-00035	AGGREGATE BAG	LF	78						78	
208-00046	PREFABRICATED CONCRETE WASHOUT STRUCTURE	EA	1						1	
208-00054	STORM DRAIN INLET PROTECTION (TYPE II)	EA	2						2	
208-00075	PREFABRICATED VEHICLE TRACKING PAD	EA	1						1	
208-00200	EROSION CONTROL MANAGEMENT	LS	1						1	
210-00067	RESET MONUMENT (TYPE 5)	EA	3						3	
210-00810	RESET GROUND SIGN	EA	4						4	
210-04010	ADJUST MANHOLE	EA					3		3	
210-04050	ADJUST VALVE BOX	EA					9		9	
212-01200	LANDSCAPE RESTORATION	LS	1						1	
216-00201	EROSION RETENTION BLANKET (STRAW-COCONUT) (BIODEGRADABLE CLASS 1)	SY	81						81	
304-06007	AGGREGATE BASE COURSE (CLASS 6)	CY	1600						1600	
403-00721	HOT MIX ASPHALT (PATCHING) (ASPHALT)	SY	64						64	
403-33741	HOT MIX ASPHALT (GRADING S) (75) (PG 64-22)	TON	587						587	
403-34741	HOT MIX ASPHALT (GRADING SX) (75) (PG 64-22)	TON	597						597	
412-00300	CONCRETE PAVEMENT	SY	48						48	
412-00600	CONCRETE PAVEMENT (6 INCH)	SY	556						556	
412-01000	CONCRETE PAVEMENT (10 INCH)	SY	54						54	
412-01001	CONCRETE PAVEMENT (10 INCH) (SPECIAL)	SY	27						27	
503-00018	DRILLED SHAFT 18 INCH	LF	12						12	



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 File Name: 1525-201872.18-CD-04-SOAQ.dwg
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 5660 Greenwood Plaza Blvd, 400N
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Sheet Revisions			
Date	Comments	Initials	

Public Works & Engineering
 2255 W Berry Avenue
 Littleton, Colorado 80120

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Void:

EUCLID AVE IMPROVEMENTS - PHASE 2
 SUMMARY OF APPROXIMATE QUANTITIES

Designer:	LML	Structure Numbers	
Detailer:	LML		
Sheet Subset:	SOAQ	Subset Sheet Number:	2 of 4

Project No.
26-07

Sheet Number: 6 of 73

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CONTRACT ITEM NO.	CONTRACT ITEM	UNIT	ROADWAY/TRAFFIC		DRAINAGE		UTILITIES		PROJECT TOTALS	
			PLAN	AS CONST.	PLAN	AS CONST.	PLAN	AS CONST.	PLAN	AS CONST.
506-00409	SOIL RIPRAP (9 INCH)	CY			4				4	
603-01180	18 INCH REINFORCED CONCRETE PIPE	LF			54				54	
603-05018	18 INCH REINFORCED CONCRETE END SECTION	EA			1				1	
604-16550	INLET TYPE 16 (DOUBLE) (SPECIAL)	EA			2				2	
608-00000	CONCRETE SIDEWALK	SY	2188						2188	
608-00010	CONCRETE CURB RAMP	SY	389						389	
608-10010	SIDEWALK DRAIN	EA	1						1	
609-21020	CURB AND GUTTER TYPE 2 (SECTION II-B)	LF	2444						2444	
609-24006	GUTTER TYPE 2 (6 FOOT)	LF	40						40	
614-00011	SIGN PANEL (CLASS I)	SF	18						18	
614-00012	SIGN PANEL (CLASS II)	SF	54						54	
614-00217	STEEL SIGN POST (2x2 INCH TELESPAR TUBING)	LF	88						88	
614-72860	PEDESTRIAN PUSH BUTTON	EA	2						2	
614-80003	RECTANGULAR RAPID FLASHING BEACON	EA	2						2	
614-84000	TRAFFIC SIGNAL PEDESTRIAN POLE STEEL	EA	2						2	
625-00000	CONSTRUCTION SURVEYING	LS	1						1	
626-00000	MOBILIZATION	LS	1						1	
627-00008	MODIFIED EPOXY PAVEMENT MARKING	GAL	10						10	
627-30405	PREFORMED THERMOPLASTIC PAVEMENT MARKING (WORD-SYMBOL)	SF	120						120	
627-30410	PREFORMED THERMOPLASTIC PAVEMENT MARKING (XWALK-STOP LINE)	SF	700						700	



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EUCLID AVE IMPROVEMENTS - PHASE 2
 SUMMARY OF APPROXIMATE QUANTITIES

Designer:	LML	Structure Numbers	
Detailer:	LML		
Sheet Subset:	SOAQ	Subset Sheet Number:	3 of 4

Project No.
 26-07

Sheet Number: 7 of 73

Y:\Colorado\1525-201872.18-Eucild_School\Eng_Docs\Drawings\Phase 2\1525-201872.18-CD-05-ROADWAY TABS.dwg - Current tab: 9 - Print Time: Tue, 14 Apr 2026 - 8:51am By: llehto Last Save: Mon, 13 Apr 2026 - 5:47pm

REMOVAL QUANTITIES														
LOCATION	SIDE	202-00010	202-00018	202-00090	202-00190	202-00195	202-00200	202-00202	202-00203	202-00204	202-00206	202-00210	202-00220	202-00226
		REMOVAL OF TREE	REMOVAL OF CHASE DRAIN	REMOVAL OF DELINEATOR	REMOVAL OF CONCRETE MED COVER MAT	REMOVAL OF MED COVER	REMOVAL OF SIDEWALK	REMOVAL OF GUTTER	REMOVAL OF CURB AND GUTTER	REMOVAL OF CURB, GUTTER AND SIDEWALK	REMOVAL OF CONCRETE CURB RAMP	REMOVAL OF CONCRETE PAVEMENT	REMOVAL OF ASPHALT MAT	REMOVAL OF ASPHALT MAT (SPECIAL)
		EA	EA	EA	SY	SY	SY	LF	LF	LF	SY	SY	SY	SY
14+33 TO 14+73	RT								52	60				
14+33 TO 20+14	LT					25	31		31	522	45	27	3174	85
15+02 TO 21+35	RT						6			687	16	110	559	
20+14 TO 20+49	LT							32						
20+49 TO 26+25	LT	1		5			139		333	224	55	45	1675	
20+73 TO 21+06	LT				8				60		3			
20+73 TO 21+06	RT				20				66		6			
21+35 TO 21+70	RT							33						
21+70 TO 26+24	RT		1	5			111		294	188	37	54	31	
TOTAL		1	1	10	28	25	287	65	836	1681	162	236	5439	85

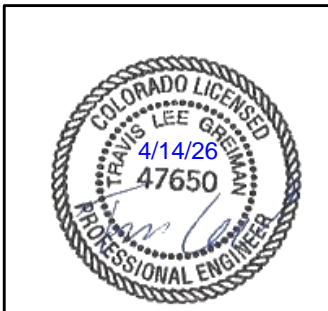
REMOVAL NOTES:

- SAWCUTTING SHALL BE INCLUDED IN THE COST OF REMOVAL OF ASPHALT MAT AND CONCRETE PAVEMENT.
- THE REMOVAL OF EXISTING SPEED HUMPS IS QUANTIFIED UNDER THE REMOVAL OF ASPHALT MAT (SPECIAL).

DRAINAGE QUANTITIES							
LOCATION	REF. NO.	206-00510	506-00409	603-01180	603-05018	604-16550	MEASURED HEIGHT (H)
		FILTER MATERIAL (CLASS A)	SOIL RIPRAP (9 INCH)	18 INCH REINFORCED CONCRETE PIPE	18 INCH REINFORCED CONCRETE END SECTION	INLET TYPE 16 (DOUBLE) (SPECIAL)	
		CY	CY	LF	EA	EA	
HIGH LINE CANAL	INLET 01					1	6.5
				20			
	INLET 02					1	7.1
				34			
	CONCRETE FES 01				1		
TOTAL		2	4	54	1	2	-

DRAINAGE NOTES:

- EXCAVATION AND BACKFILL FOR PIPES WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE INCLUDED IN THE COST OF THE PIPE.



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File Name: 1525-201872.18-CD-05-ROADWAY TABS.dwg		Date	Comments	Initials		No. Revisions:	TABULATION OF ROADWAY QUANTITIES			26-07		
Horizontal Scale: Vertical Scale:						Revised:	Designer: LML	Structure Numbers				
 5660 Greenwood Plaza Blvd, 400N Greenwood Village, Colorado 80111 (303) 771-6868					Void:	Detailer: LML	Subset Sheet Number: 1 of 3	Sheet Number: 9 of 73				

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ROADWAY QUANTITIES										
LOCATION	SIDE	210-00067	210-04010	210-04050	412-00300	608-00000	608-00010	608-10010	609-21020	609-24006
		RESET MONUMENT (TYPE 5)	ADJUST MANHOLE	ADJUST VALVE BOX	CONCRETE PAVEMENT	CONCRETE SIDEWALK	CONCRETE CURB RAMP	SIDEWALK DRAIN	CURB AND GUTTER TYPE 2 (SECTION II-B)	GUTTER TYPE 2 (6 FOOT)
		EA	EA	EA	SY	SY	SY	EA	LF	LF
14+33 TO 14+73	RT					99	29		95	
14+33 TO 20+14	LT					715	100		582	
15+02 TO 21+35	RT					361	52		697	
15+39	RT			1						
15+52	RT			1						
15+55	RT			1						
15+87	LT			1						
16+69	RT		1							
19+98 TO 20+65	LT				23					20
20+02	LT	1								
20+36	LT			1						
20+37	LT			1						
20+41	RT		1							
20+47	RT		1							
20+47	LT			1						
20+49 TO 26+21	LT					605	160		552	
20+52	LT	1								
21+10 TO 21+75	RT				25					20
21+47	RT			1						
21+70 TO 26+20	RT					408	48	1	518	
23+48	RT	1								
26+14	RT			1						
TOTALS		3	3	9	48	2188	389	1	2444	40

ROADWAY NOTES:

1. CONCRETE PAVEMENT SHALL BE POURED MONOLITHICALLY WITH CURB AND GUTTER AND SHALL BE AT LEAST 6" THICK OR HAVE THE SAME THICKNESS AS PAVEMENT SECTION 1 (AS DISPLAYED IN THE TYPICAL SECTIONS)



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File Name: 1525-201872.18-CD-05-ROADWAY TABS.dwg		Date	Comments	Initials		No. Revisions:	TABULATION OF ROADWAY QUANTITIES		26-07		
Horizontal Scale: Vertical Scale:						Revised:	Designer: LML	Structure Numbers	Sheet Number: 10 of 73		
5660 Greenwood Plaza Blvd, 400N Greenwood Village, Colorado 80111 (303) 771-6868					Void:	Detailer: LML	Sheet Subset: RDWY TABS	Subset Sheet Number: 2 of 3	Sheet Number: 10 of 73		

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PAVEMENT QUANTITIES								
LOCATION	SIDE	304-06007	403-00721	403-33741	403-34741	412-00600	412-01000	412-01001
		AGGREGATE BASE COURSE (CLASS 6)	HMA (PATCHING)	HMA (GRADING S) (75) (PG 64-22)	HMA (GRADING SX) (75) (PG 64-22)	CONCRETE PAVEMENT (6 INCH)	CONCRETE PAVEMENT (10 INCH) (SPECIAL)	CONCRETE PAVEMENT (10 INCH) (SPECIAL)
		CY	SY	TON	TON	SY	SY	SY
14+33 TO 26+25	RT/LT	1221		587	587			
14+33 TO 14+71	RT	17						
14+33 TO 20+10	LT	120						
15+05 TO 21+31	RT	58						
20+52 TO 26+16	LT	101						
21+72 TO 26+15	RT	69						
6602 S CHEROKEE ST	-					59		
301 W EUCLID AVE	-		13			44		
6602 S CHEROKEE ST	-					20		
282 W EUCLID AVE	-					36		
252 W EUCLID AVE	-					47		
222 W EUCLID AVE	-					17		
220 W EUCLID AVE	-					60		
6605 S ACOMA ST	-					39		
6608 S ACOMA ST	-					33		
6658 S ACOMA ST	-		12			58		
6639 S BROADWAY	-		9			34		
6599 S BROADWAY	-		7			58		
6607 S BROADWAY	-		23			51		
16+53 TO 16+65	RT/LT				5			
19+03 TO 19+15	RT/LT				5			
22+94 TO 23+24	RT/LT	14					54	27
TOTAL		1600	64	587	597	556	54	27

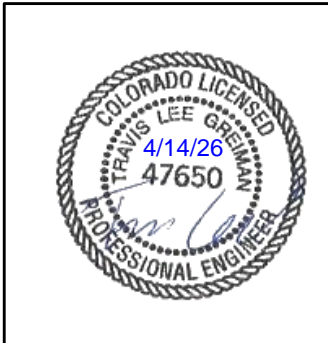
PAVEMENT NOTES:

1. THE ASPHALT MATERIAL FOR SPEED CUSHIONS IS QUANTIFIED UNDER HMA (GRADING SX) (75) (PG 64-22).

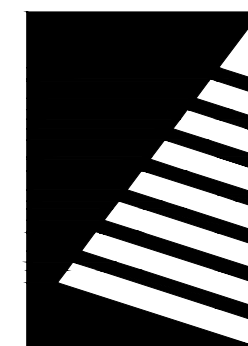
EARTHWORK QUANTITIES			
ITEM NO.	ITEM	UNIT	QUANTITY
203-00010	UNCLASSIFIED EXCAVATION (COMPLETE IN PLACE)	CY	2,297
207-00205	TOPSOIL	CY	50
FOR INFORMATION ONLY			
	EMBANKMENT MATERIAL	CY	-107
	EMBANKMENT X FACTOR (1.15)	CY	-123
	EXCAVATION (ROADWAY)	CY	2,297
	EXCESS FOR DISPOSAL	CY	2,174

EARTHWORK NOTES:

1. THE QUANTITY FOR UNCLASSIFIED EXCAVATION REPRESENTS A COMPARISON BETWEEN THE EXISTING GROUND AND THE BOTTOM OF THE PROPOSED TYPICAL SECTION (E.G., PAVEMENT SECTION 1, CURB AND GUTTER, SIDEWALK, ETC.). THE REMOVAL OF ASPHALT MAT IS A SEPARATE QUANTITY (LISTED UNDER THE REMOVAL QUANTITIES ON SHEET 9), AND THE ASSOCIATED VOLUME OF EXISTING ASPHALT MAT IS NOT INCLUDED IN THE UNCLASSIFIED EXCAVATION QUANTITY.
2. HAULING WILL NOT BE PAID FOR SEPARATELY, BUT SHALL BE INCLUDED IN THE COST OF THE WORK.
3. THERE IS NO DESIGNATED BORROW SITE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE EMBANKMENT BORROW SITE.
4. TOPSOIL WILL BE REQUIRED TO A DEPTH OF 6 INCHES ON AREAS WHERE SEED AND SOD WILL BE ADDED. EXISTING TOPSOIL WITHIN THE LIMITS OF DISTURBANCE MAY BE STRIPPED AND REUSED. STRIPPING AND STOCKPILING EXISTING TOPSOIL WILL NOT BE PAID FOR SEPARATELY, BUT SHALL BE INCLUDED IN THE COST OF THE WORK.
5. ON-SITE EXCAVATED MATERIAL MAY NOT BE SUITABLE FOR REUSE ON THE PROJECT. NATIVE MATERIAL SHALL BE TESTED BY THE CONTRACTOR TO CHECK IF IT MEETS THE EMBANKMENT MATERIAL SPECIFICATIONS.
6. THE EMBANKMENT COMPACTION FACTOR IS AN ESTIMATE AND HAS NOT BEEN VERIFIED.
7. THE EXCAVATION QUANTITY IS APPROXIMATE. THE CONTRACTOR SHALL WORK WITH THE ENGINEER TO VERIFY THE INFORMATION SHOWN OR SHALL MODIFY AND FIELD-FIT THE DESIGN AS NECESSARY.
8. EXCESS MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF OFFSITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
9. WATER SHALL BE USED AS A DUST PALLIATIVE WHERE REQUIRED. THE COST FOR THE DUST PALLIATIVE SHALL NOT BE MEASURED AND PAID FOR SEPARATELY, BUT SHALL BE INCLUDED IN THE COST OF WORK.



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File Name: 1525-201872.18-CD-05-ROADWAY TABS.dwg		Date	Comments	Initials		No. Revisions:	TABULATION OF ROADWAY QUANTITIES		26-07		
Horizontal Scale: Vertical Scale:						Revised:	Designer: LML	Structure Numbers	3 of 3		
5660 Greenwood Plaza Blvd, 400N Greenwood Village, Colorado 80111 (303) 771-6868				Void:	Detailer: LML	Subset Sheet Number:					
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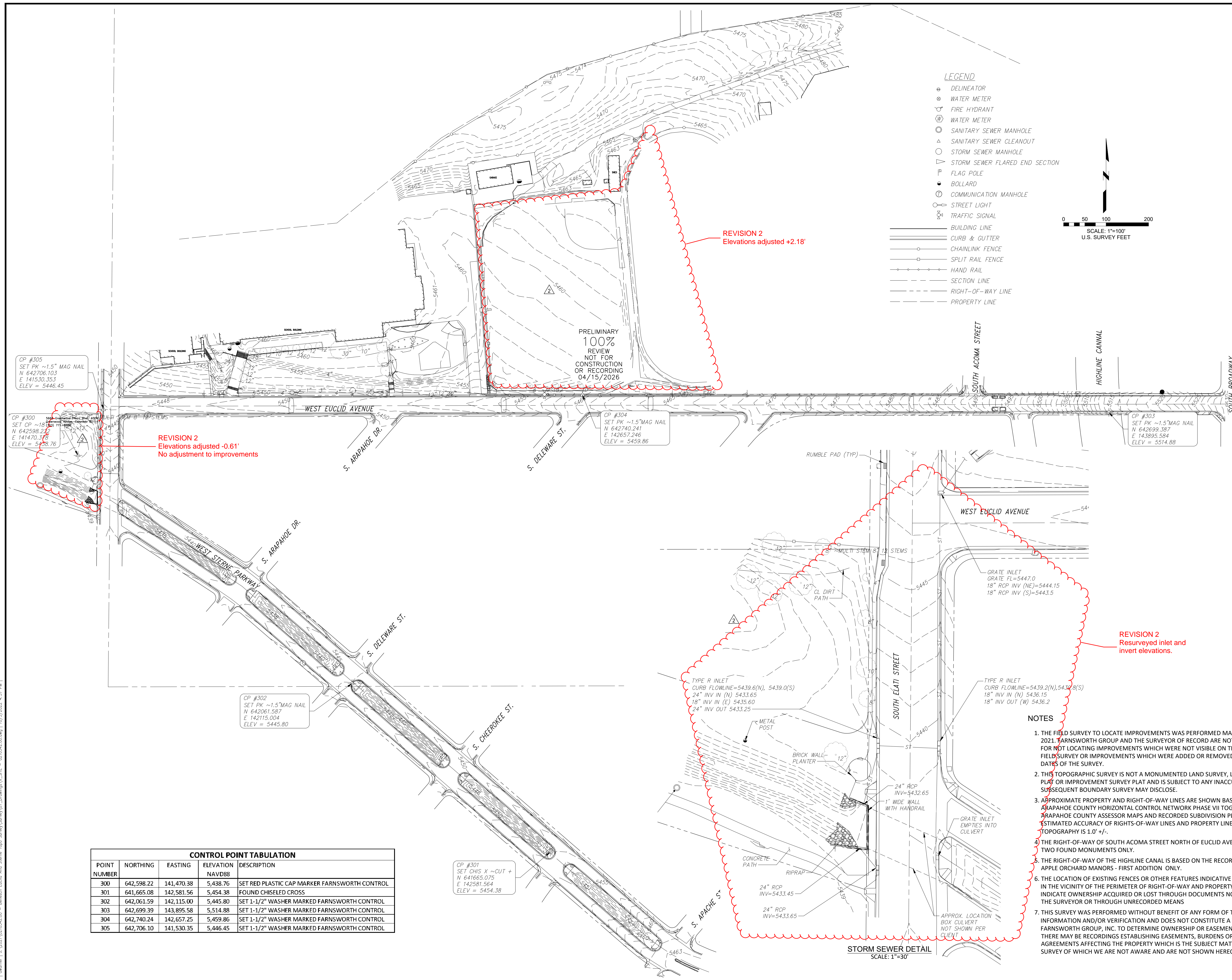


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Engineers | Architects | Surveyors | Scientists

ISSUE:	DATE:	DESCRIPTION:
#	08/03/2022	ADDED RIGHTS-OF-WAY
2	10/05/2022	CORRECTED SURVEY DATA



PROJECT:
BENESCH

EUCLID & STERNE TOPOGRAPHIC SURVEY

SW 1/4, SEC. 21 & NW 1/4, SEC. 27
T. 5 S., R. 68 W., 6TH P.M.
LITTLETON, CO.

DATE: 05/13/2022

DESIGNED:

DRAWN: JN

REVIEWED: CAB

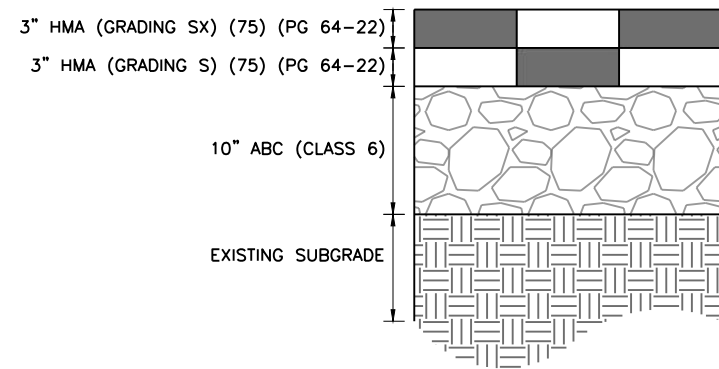
FIELD BOOK NO.: 2491 & 2503

SHEET TITLE:

TOPOGRAPHIC SURVEY

SHEET NUMBER:

Y:\Colorado\15X-205\1525-201872.18-Euclid_School\Eng_Docs\Drawings\Phase 2\1525-201872.18-CD-07-TYPICAL SECTIONS.dwg - Current tab: 13 - Print Time: Tue, 14 Apr 2026 - 8:53am By: llehto Last Save: Mon, 13 Apr 2026 - 5:48pm



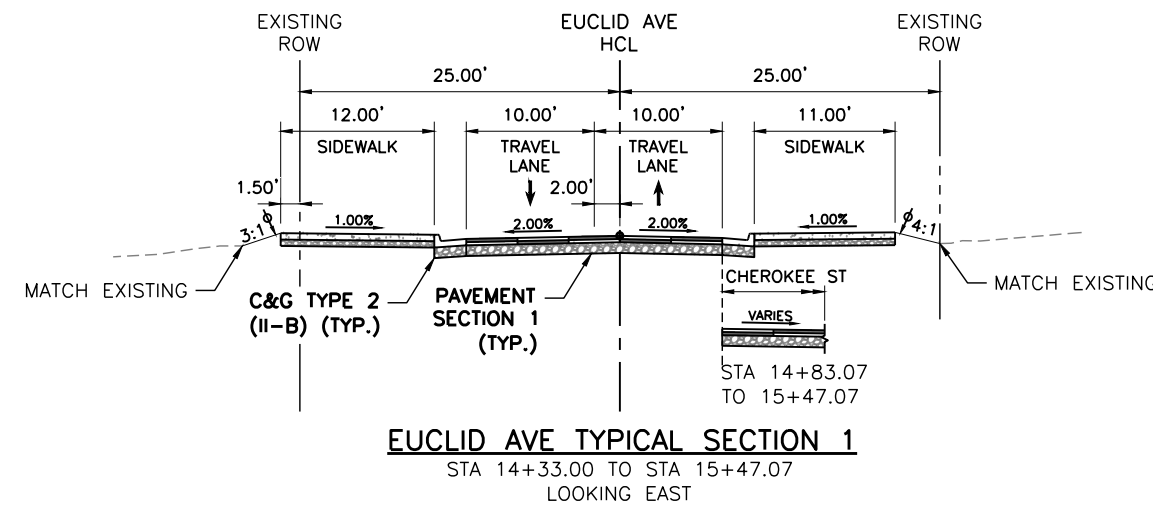
PAVEMENT SECTION 1
HOT MIX ASPHALT

LEGEND:

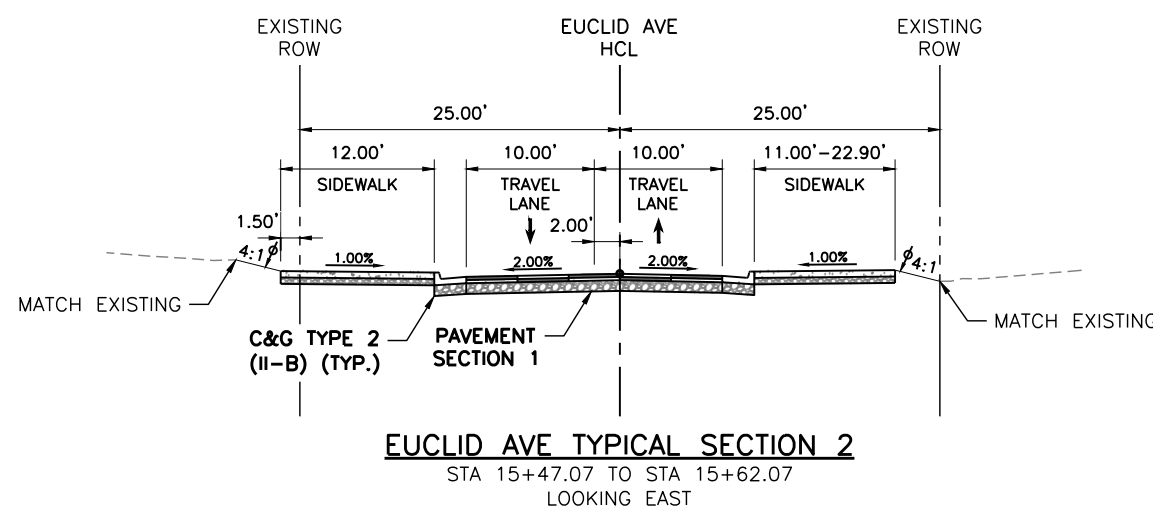
- ⌀ STABILIZE AND REVEGETATE TO THIS LINE WITH 6" OF TOPSOIL UNLESS OTHERWISE DIRECTED
- PROFILE GRADE LINE

NOTES:

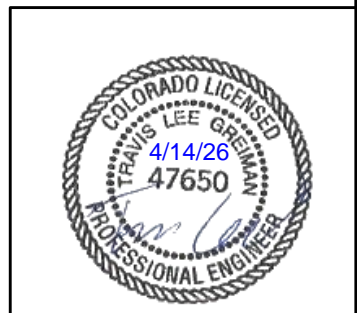
1. TYPICAL SECTIONS PROVIDE CROSS SECTIONAL ELEMENTS, DEPTHS, WIDTHS, MATERIAL AND APPROXIMATE SLOPES OVER VARYING STATION RANGES. DIMENSION SHOWN ARE TYPICAL. SAWCUT LOCATIONS, CROSS SLOPES, ROADWAY LANE WIDTHS, AND SIDEWALK WIDTH VARY AT SOME LOCATIONS. FOR ADDITIONAL INFORMATION, REFER TO THE ROADWAY PLAN AND PROFILES, ROADWAY DETAILS, AND SIGNING AND STRIPING PLANS.



EUCLID AVE TYPICAL SECTION 1
STA 14+33.00 TO STA 15+47.07
LOOKING EAST



EUCLID AVE TYPICAL SECTION 2
STA 15+47.07 TO STA 15+62.07
LOOKING EAST



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Sheet Revisions			
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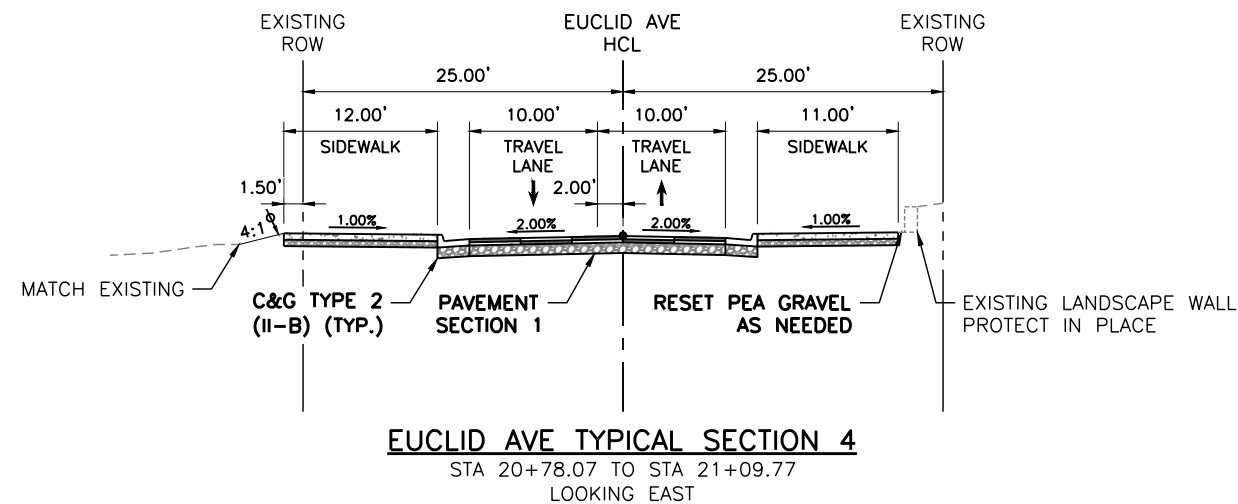
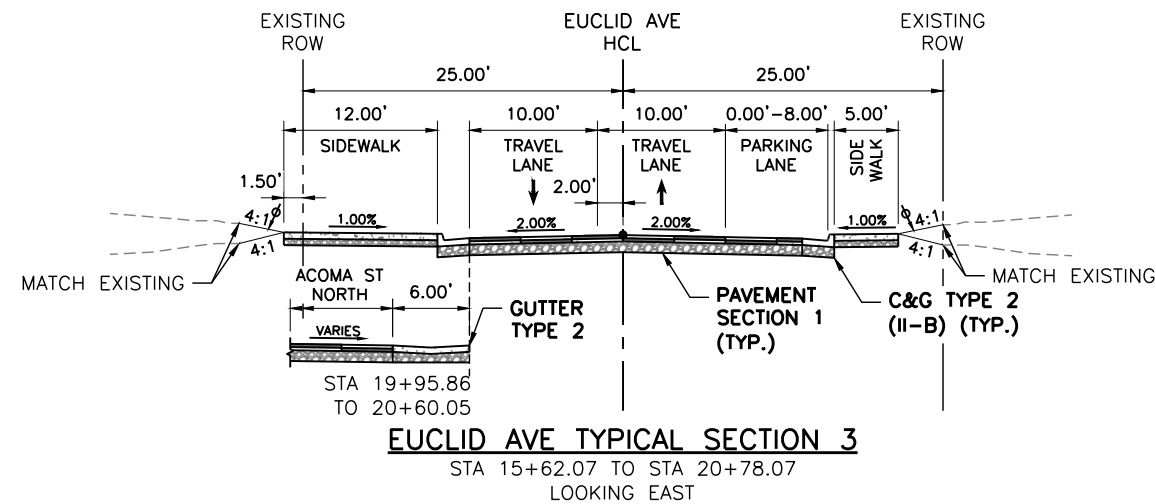
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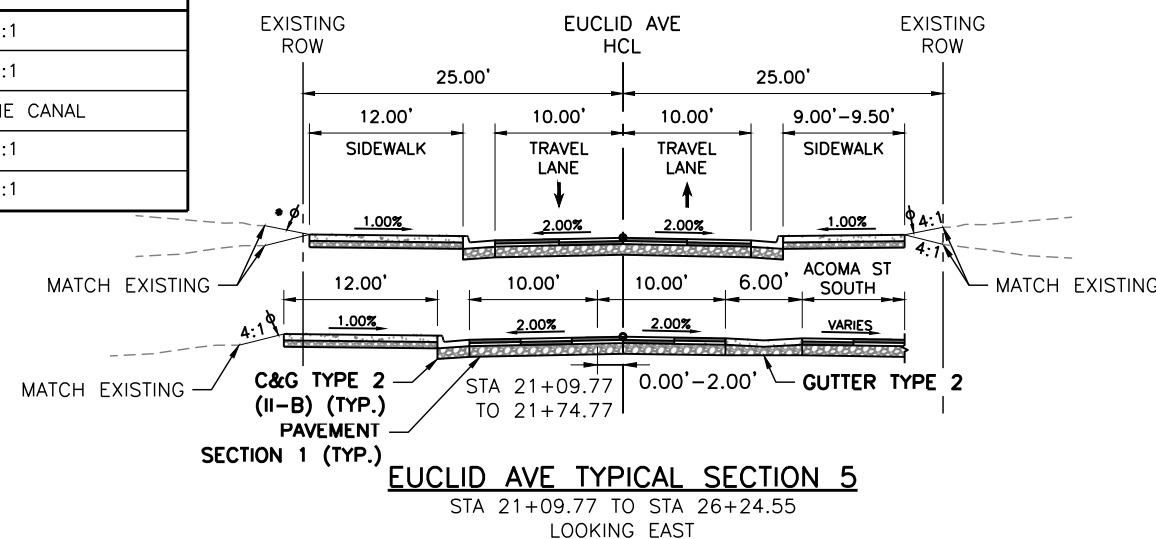
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TYPICAL SECTIONS			
Designer:	LML	Structure Numbers	
Detailer:	LML		
Sheet Subset:	TYPICALS	Subset Sheet Number:	1 of 3

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*LT GRADING TABLE	
STA 21+09.77 TO STA 23+20.00	4:1
STA 23+20.00 TO STA 23+46.00	3:1
STA 23+46.00 TO STA 23+68.00	HIGH LINE CANAL
STA 23+68.00 TO STA 24+10.00	3:1
STA 24+10.00 TO STA 26+24.55	4:1

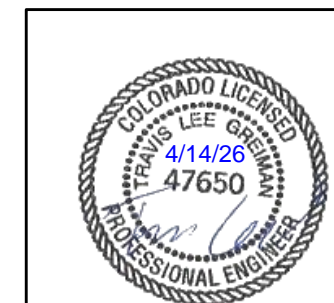


LEGEND:

- ⌀ STABILIZE AND REVEGETATE TO THIS LINE WITH 6" OF TOPSOIL UNLESS OTHERWISE DIRECTED
- PROFILE GRADE LINE

NOTES:

1. TYPICAL SECTIONS PROVIDE CROSS SECTIONAL ELEMENTS, DEPTHS, WIDTHS, MATERIAL AND APPROXIMATE SLOPES OVER VARYING STATION RANGES. DIMENSION SHOWN ARE TYPICAL. SAWCUT LOCATIONS, CROSS SLOPES, ROADWAY LANE WIDTHS, AND SIDEWALK WIDTH VARY AT SOME LOCATIONS. FOR ADDITIONAL INFORMATION, REFER TO THE ROADWAY PLAN AND PROFILES, ROADWAY DETAILS, AND SIGNING AND STRIPING PLANS.



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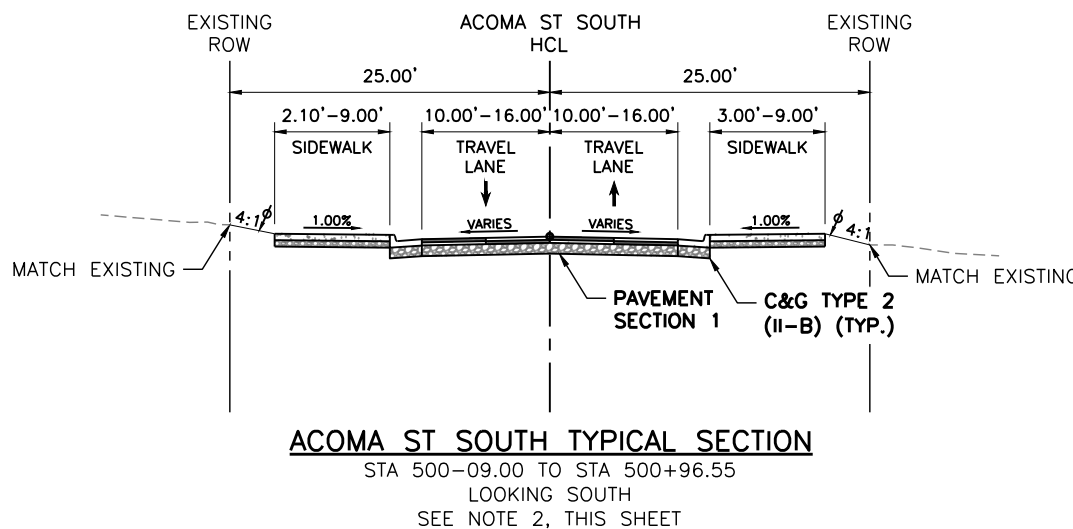
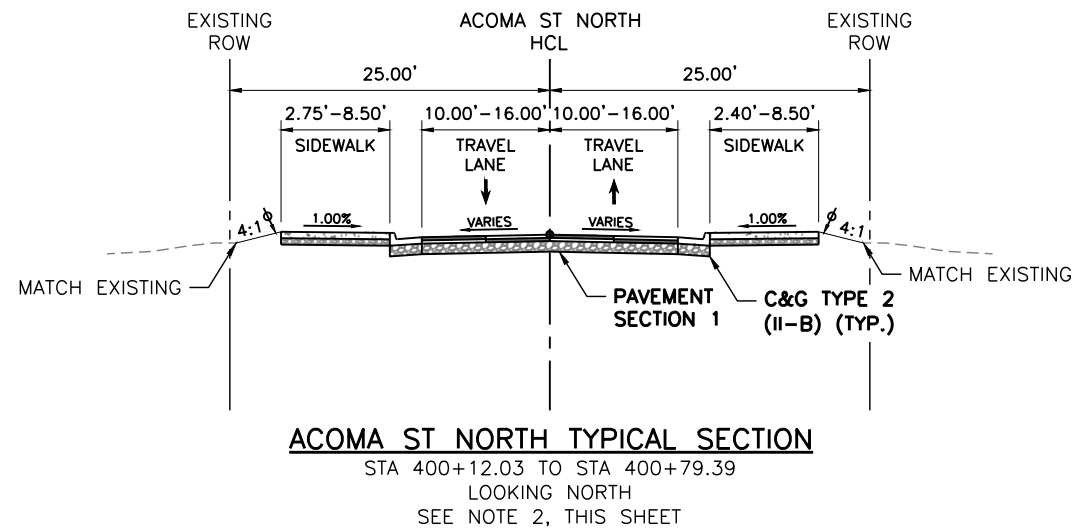
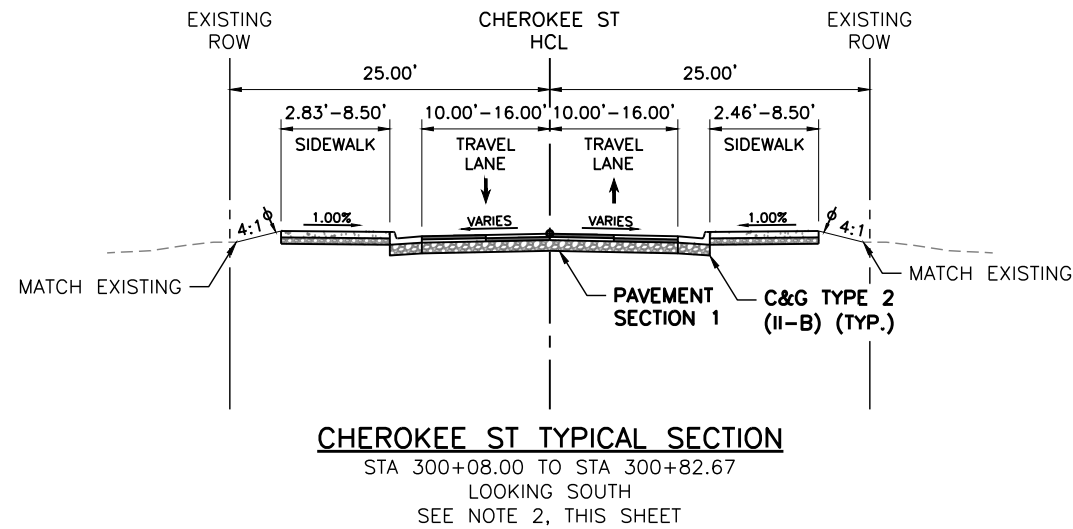
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EUCLID AVE IMPROVEMENTS - PHASE 2		
TYPICAL SECTIONS		
Designer:	LML	Structure Numbers
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Sheet Subset:	TYPICALS	Subset Sheet Number: 2 of 3

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LEGEND:

- ⊕ STABILIZE AND REVEGETATE TO THIS LINE WITH 6" OF TOPSOIL UNLESS OTHERWISE DIRECTED
- PROFILE GRADE LINE

NOTES:

1. TYPICAL SECTIONS PROVIDE CROSS SECTIONAL ELEMENTS, DEPTHS, WIDTHS, MATERIAL AND APPROXIMATE SLOPES OVER VARYING STATION RANGES. DIMENSION SHOWN ARE TYPICAL. SAWCUT LOCATIONS, CROSS SLOPES, ROADWAY LANE WIDTHS, AND SIDEWALK WIDTH VARY AT SOME LOCATIONS. FOR ADDITIONAL INFORMATION, REFER TO THE ROADWAY PLAN AND PROFILES, ROADWAY DETAILS, AND SIGNING AND STRIPING PLANS.
2. THE STATION RANGE PROVIDED IS APPROXIMATE. EXISTING TOPOGRAPHIC SURVEY ENDS PRIOR TO THE NOTED STATION TIE-IN LOCATION. ADJUSTMENTS IN THE FIELD MAY BE NEEDED TO DETERMINE IF THE TIE-IN LOCATION SHOULD BE MODIFIED.



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Date	Comments	Initials	

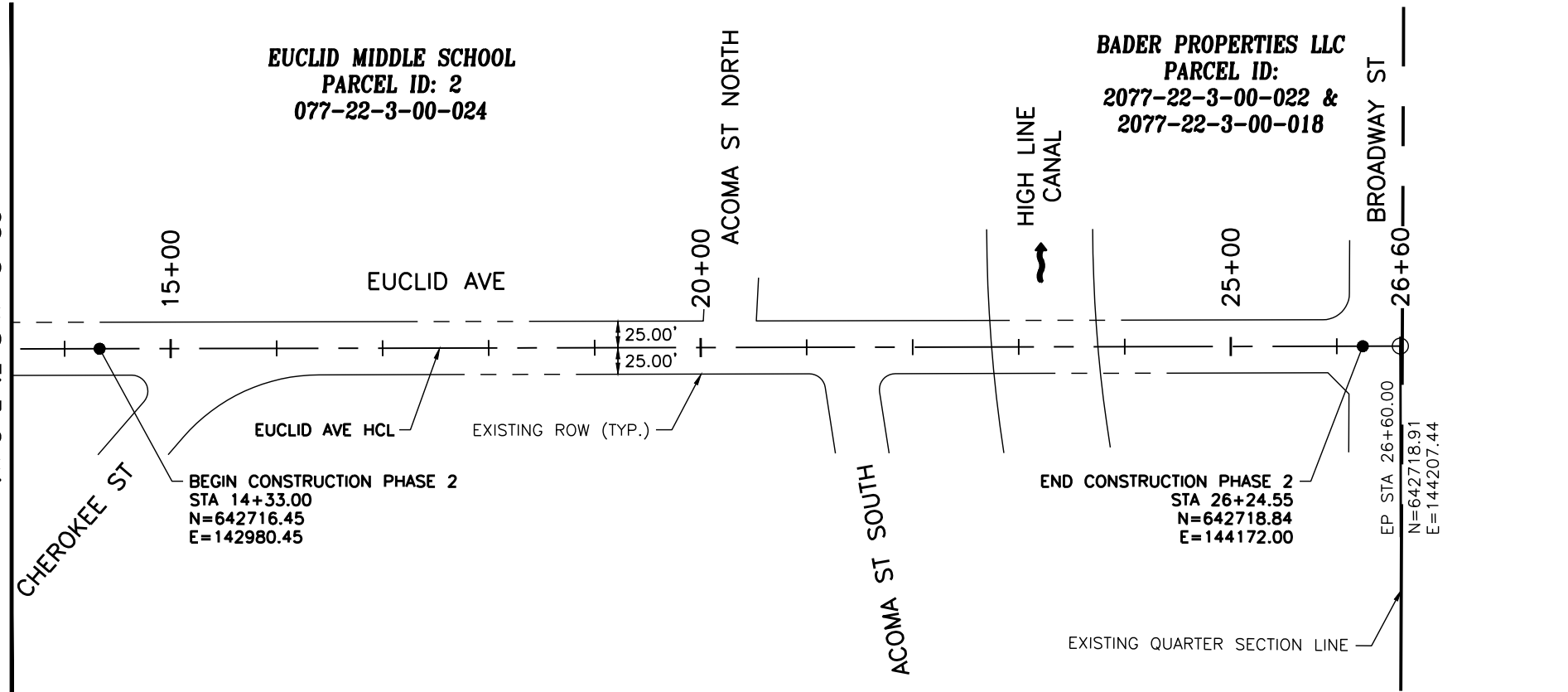
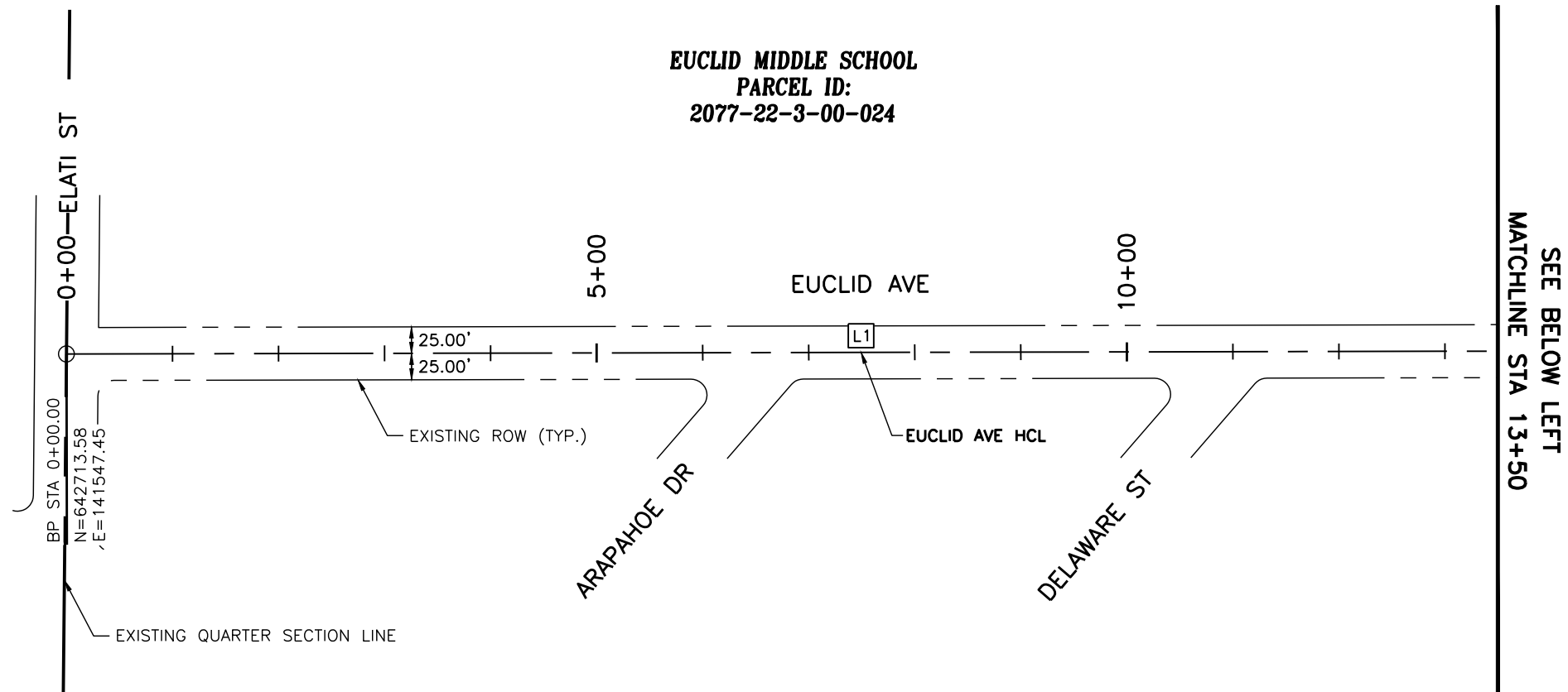
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As Constructed
No. Revisions:
Revised:
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TYPICAL SECTIONS			
Designer:	LML	Structure Numbers	
Detailer:	LML		
Sheet Subset:	TYPICALS	Subset Sheet Number:	3 of 3

Project No.
26-07
Sheet Number: 15 of 73

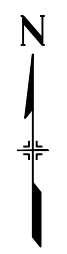
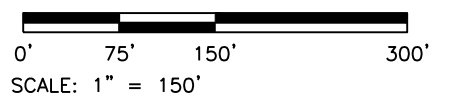
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LINE DATA TABLE		
LINE #	LENGTH	DIRECTION
L1	2660.00	N89° 53' 07"E

NOTES:

- HORIZONTAL CONTROL LINE (HCL) INFORMATION FOR CHEROKEE ST AND ACOMA ST CAN BE FOUND ON SHEET 17.



Print Date: 4/14/2026
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Sheet Revisions			
Date	Comments	Initials	
			R-X

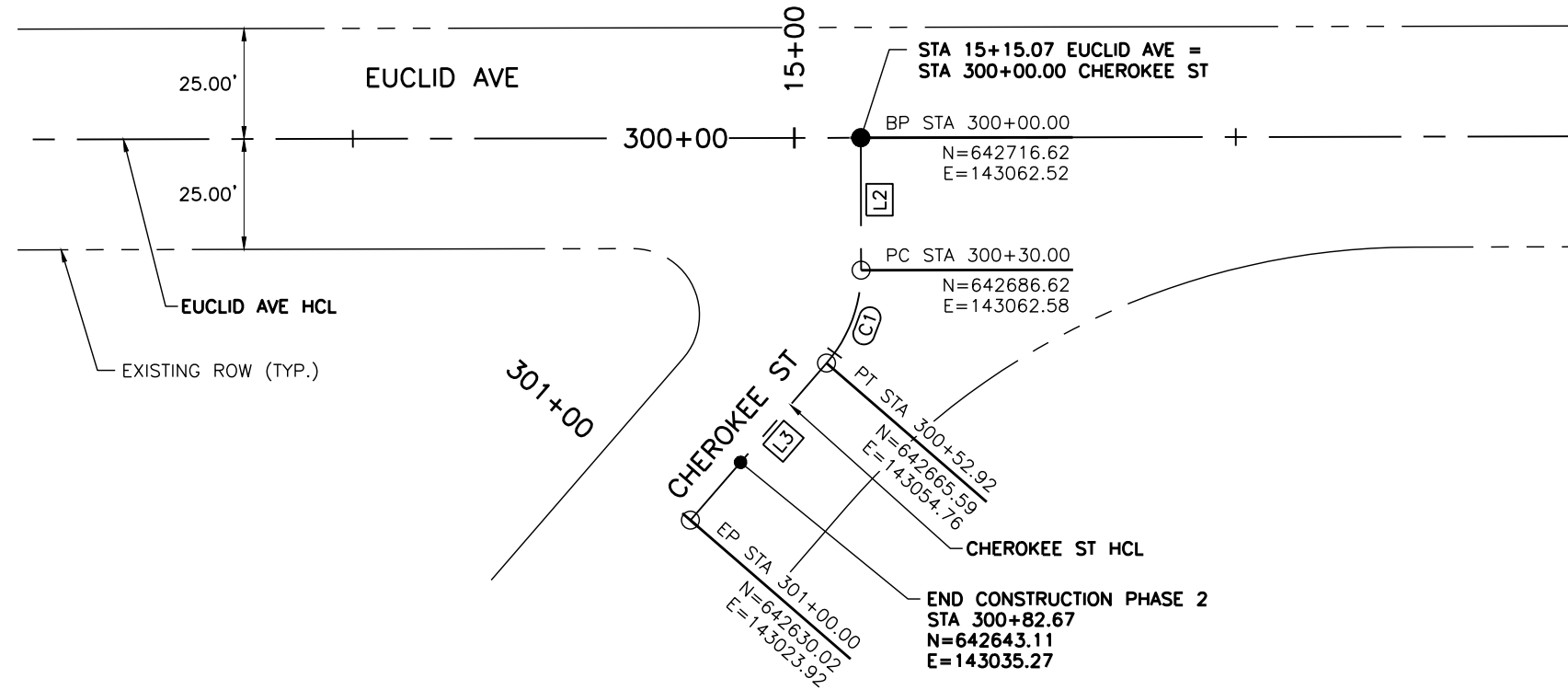
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Void:	

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Designer:	LML	Structure Numbers	
Detailer:	LML		
Sheet Subset:	HCL	Subset Sheet Number:	1 of 2

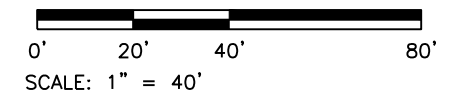
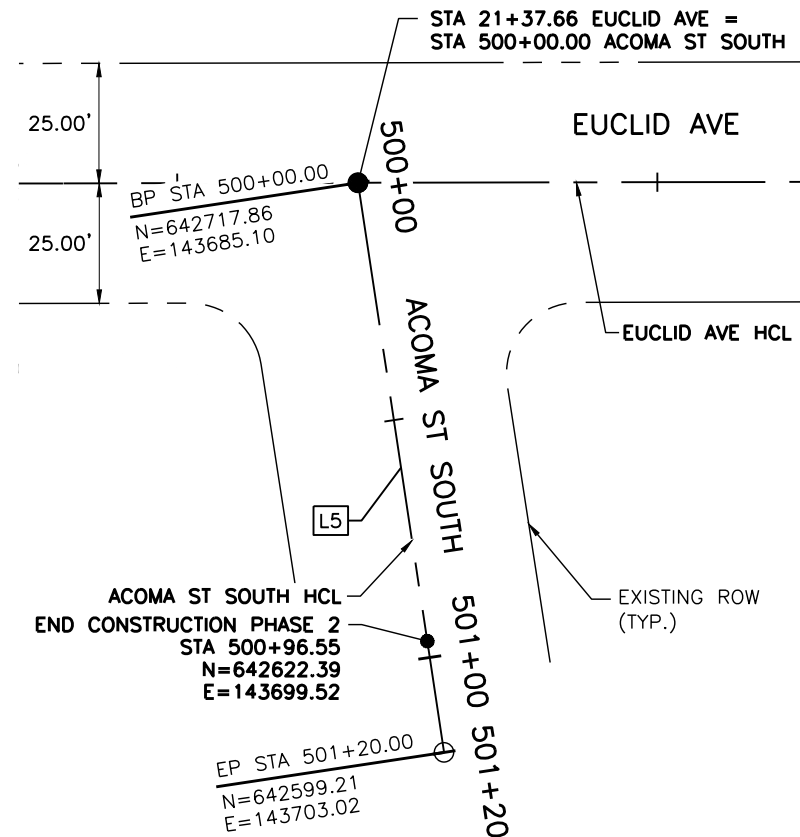
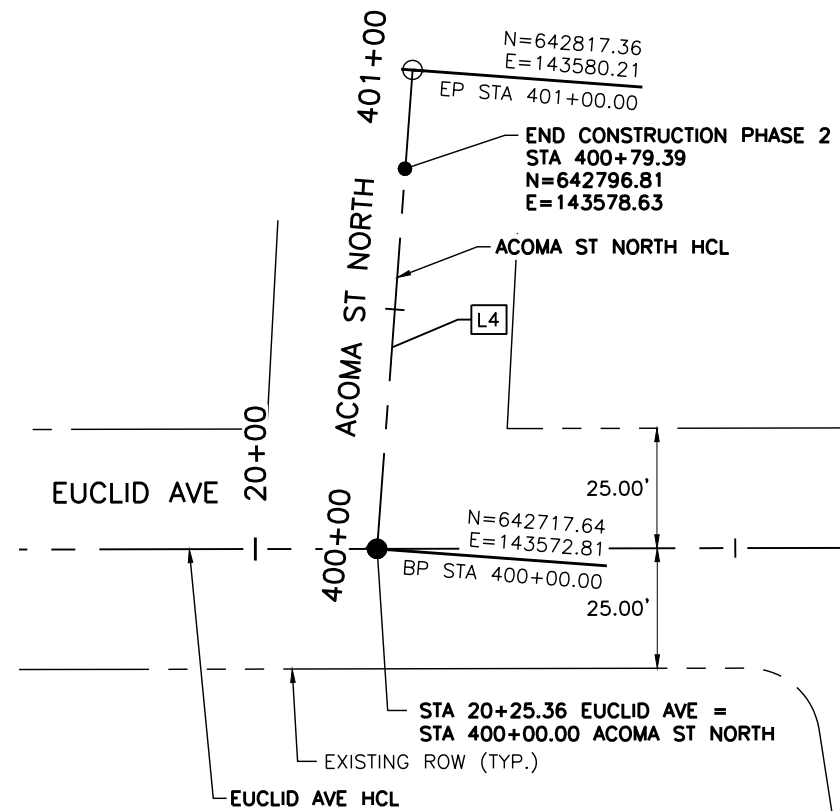
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LINE DATA TABLE		
LINE #	LENGTH	DIRECTION
L2	30.00	S00° 06' 53"E
L3	47.08	S40° 55' 29"W
L4	100.00	N04° 14' 45"E
L5	120.00	S08° 35' 08"E

CURVE DATA TABLE				
CURVE #	RADIUS	LENGTH	DELTA	TANGENT
C1	32.00	22.92	41° 02' 21.54"	11.98



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			R-X

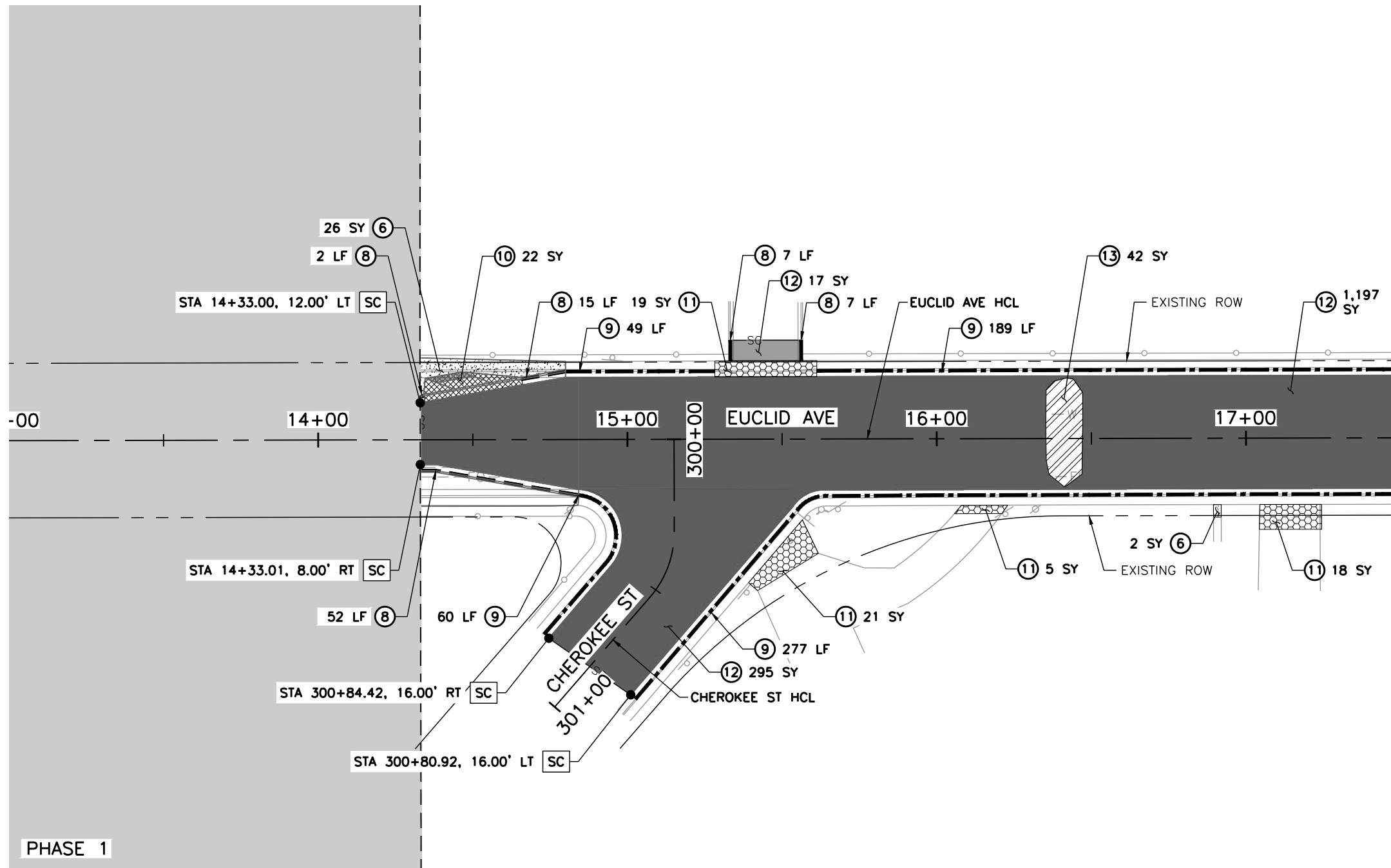
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HORIZONTAL CONTROL PLANS			
CHEROKEE ST AND ACOMA ST			
Designer:	LML	Structure Numbers	
Detailer:	LML		
Sheet Subset:	HCL	Subset Sheet Number:	2 of 2

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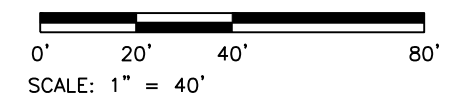
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SEE SHEET 19
 MATCHLINE STA 17+50

- LEGEND:**
- EUCLID AVE IMPROVEMENTS - PHASE 1 COMPLETED SUMMER 2025
 - SC — SAWCUT LIMITS
 - ⊗ ① REMOVAL OF TREE
 - ⊗ ② REMOVAL OF CHASE DRAIN
 - ⊗ ③ REMOVAL OF INLET
 - ▣ ④ REMOVAL OF CONCRETE MEDIAN COVER MATERIAL
 - ▣ ⑤ REMOVAL OF MEDIAN COVER
 - ▣ ⑥ REMOVAL OF SIDEWALK
 - ▣ ⑦ REMOVAL OF GUTTER
 - ⑧ REMOVAL OF CURB AND GUTTER
 - ⑨ REMOVAL OF CURB, GUTTER AND SIDEWALK
 - ▣ ⑩ REMOVAL OF CONCRETE CURB RAMP
 - ▣ ⑪ REMOVAL OF CONCRETE PAVEMENT
 - ▣ ⑫ REMOVAL OF ASPHALT MAT
 - ▣ ⑬ REMOVAL OF ASPHALT MAT (SPECIAL)
 - ⊗ ⑭ REMOVAL OF DELINEATOR (INCLUDES THE REMOVAL OF SHUR-CURB)

- NOTES:**
1. SAWCUTTING SHALL BE INCLUDED IN THE COST OF REMOVAL OF ASPHALT MAT AND CONCRETE PAVEMENT.
 2. THE REMOVAL OF EXISTING SPEED HUMPS IS QUANTIFIED UNDER THE REMOVAL OF ASPHALT MAT (SPECIAL).
 3. THE REMOVAL OF TREES SHALL BE COMPLETED BY A LICENSED ARBORIST.



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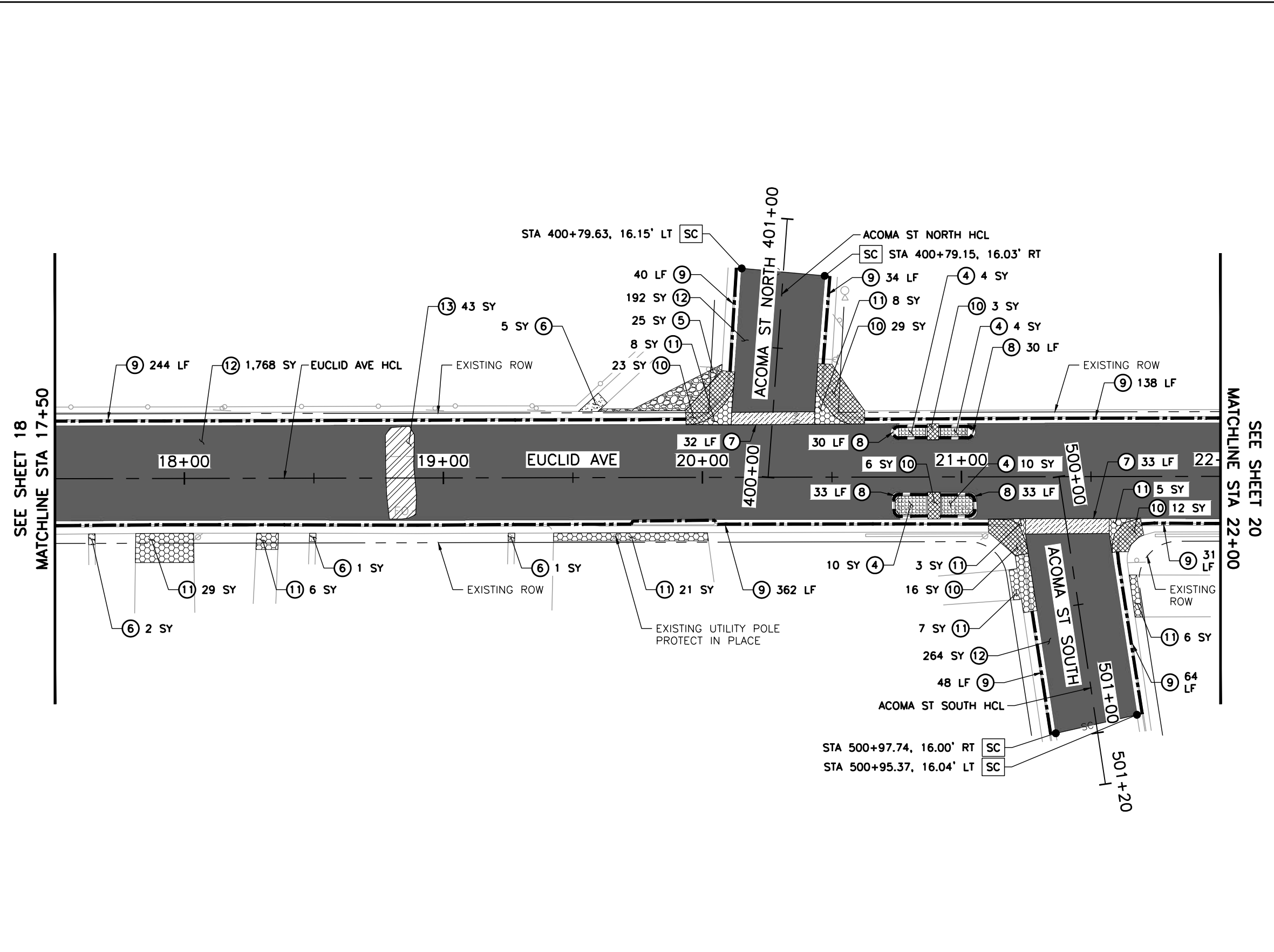
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Revised:	
Void:	

EUCLID AVE IMPROVEMENTS - PHASE 2 REMOVAL PLANS			
Designer:	LML	Structure Numbers:	
Detailer:	LML		
Sheet Subset:	DEMO	Subset Sheet Number:	1 of 3

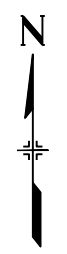
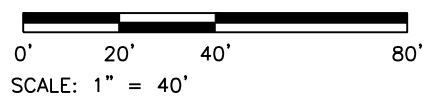
Project No.	26-07
Sheet Number:	18 of 73

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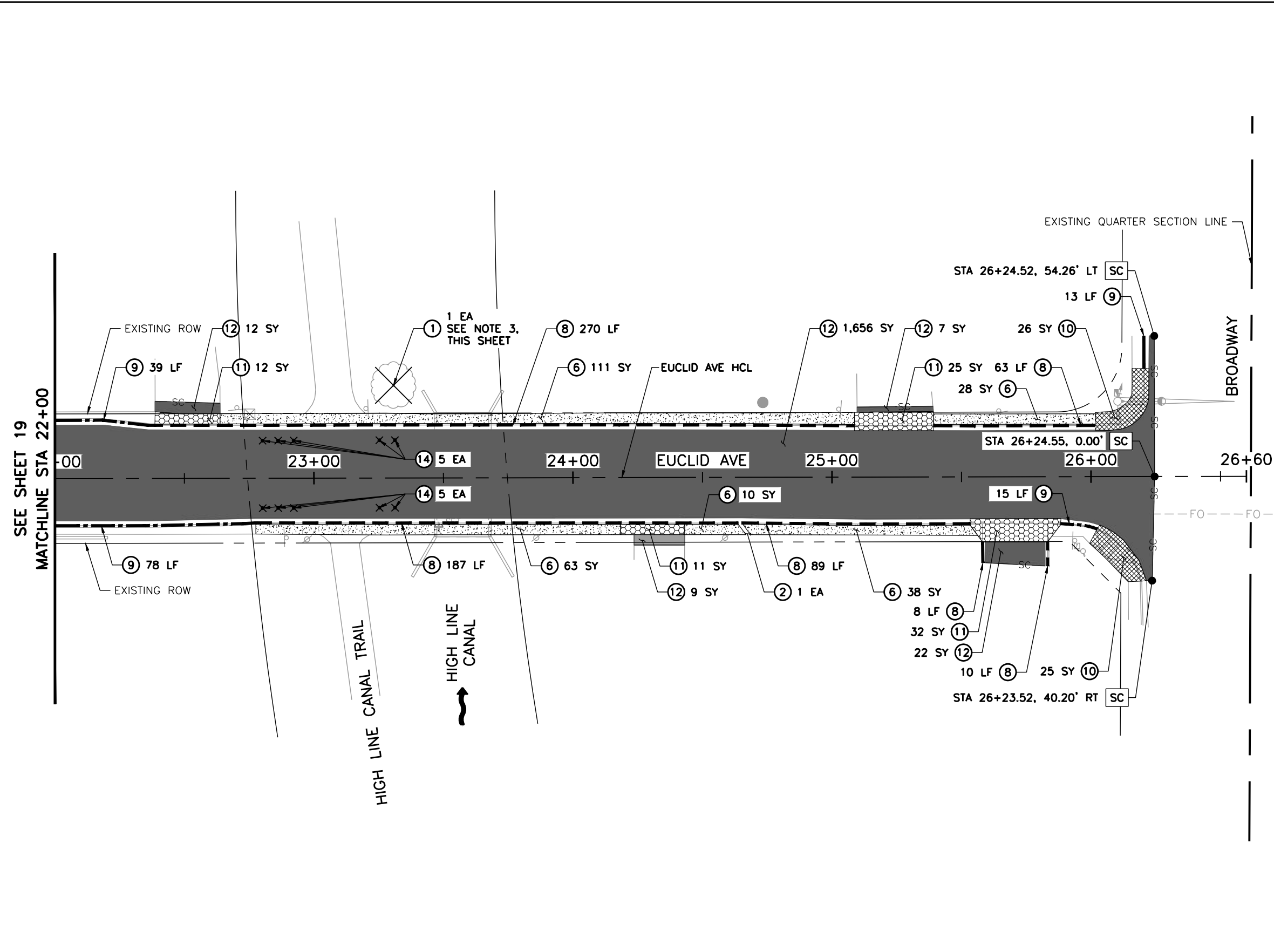
- LEGEND:**
- EUCLID AVE IMPROVEMENTS - PHASE 1 COMPLETED SUMMER 2025
 - SC - SAWCUT LIMITS
 - ① REMOVAL OF TREE
 - ② REMOVAL OF CHASE DRAIN
 - ③ REMOVAL OF INLET
 - ④ REMOVAL OF CONCRETE MEDIAN COVER MATERIAL
 - ⑤ REMOVAL OF MEDIAN COVER
 - ⑥ REMOVAL OF SIDEWALK
 - ⑦ REMOVAL OF GUTTER
 - ⑧ REMOVAL OF CURB AND GUTTER
 - ⑨ REMOVAL OF CURB, GUTTER AND SIDEWALK
 - ⑩ REMOVAL OF CONCRETE CURB RAMP
 - ⑪ REMOVAL OF CONCRETE PAVEMENT
 - ⑫ REMOVAL OF ASPHALT MAT
 - ⑬ REMOVAL OF ASPHALT MAT (SPECIAL)
 - ⑭ REMOVAL OF DELINEATOR (INCLUDES THE REMOVAL OF SHUR-CURB)

- NOTES:**
1. SAWCUTTING SHALL BE INCLUDED IN THE COST OF REMOVAL OF ASPHALT MAT AND CONCRETE PAVEMENT.
 2. THE REMOVAL OF EXISTING SPEED HUMPS IS QUANTIFIED UNDER THE REMOVAL OF ASPHALT MAT (SPECIAL).
 3. THE REMOVAL OF TREES SHALL BE COMPLETED BY A LICENSED ARBORIST.



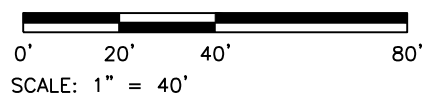
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Date	Comments	Initials															
R-X																	

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- LEGEND:**
- EUCLID AVE IMPROVEMENTS - PHASE 1 COMPLETED SUMMER 2025
 - SC - SAWCUT LIMITS
 - ⊗ ① REMOVAL OF TREE
 - ② REMOVAL OF CHASE DRAIN
 - ③ REMOVAL OF INLET
 - ▨ ④ REMOVAL OF CONCRETE MEDIAN COVER MATERIAL
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 - ▣ ⑨ REMOVAL OF CURB, GUTTER AND SIDEWALK
 - ▢ ⑩ REMOVAL OF CONCRETE CURB RAMP
 - ⑪ REMOVAL OF CONCRETE PAVEMENT
 - ⑫ REMOVAL OF ASPHALT MAT
 - ▟ ⑬ REMOVAL OF ASPHALT MAT (SPECIAL)
 - × ⑭ REMOVAL OF DELINEATOR (INCLUDES THE REMOVAL OF SHUR-CURB)

- NOTES:**
- SAWCUTTING SHALL BE INCLUDED IN THE COST OF REMOVAL OF ASPHALT MAT AND CONCRETE PAVEMENT.
 - THE REMOVAL OF EXISTING SPEED HUMPS IS QUANTIFIED UNDER THE REMOVAL OF ASPHALT MAT (SPECIAL).
 - THE REMOVAL OF TREES SHALL BE COMPLETED BY A LICENSED ARBORIST. THE QUANTITY FOR THIS REMOVAL NEAR THE HIGH LINE CANAL IS APPROXIMATE, AS THIS AREA WAS NOT INCLUDED IN THE ORIGINAL TOPOGRAPHIC SURVEY, AS SHOWN ON SHEET 12.



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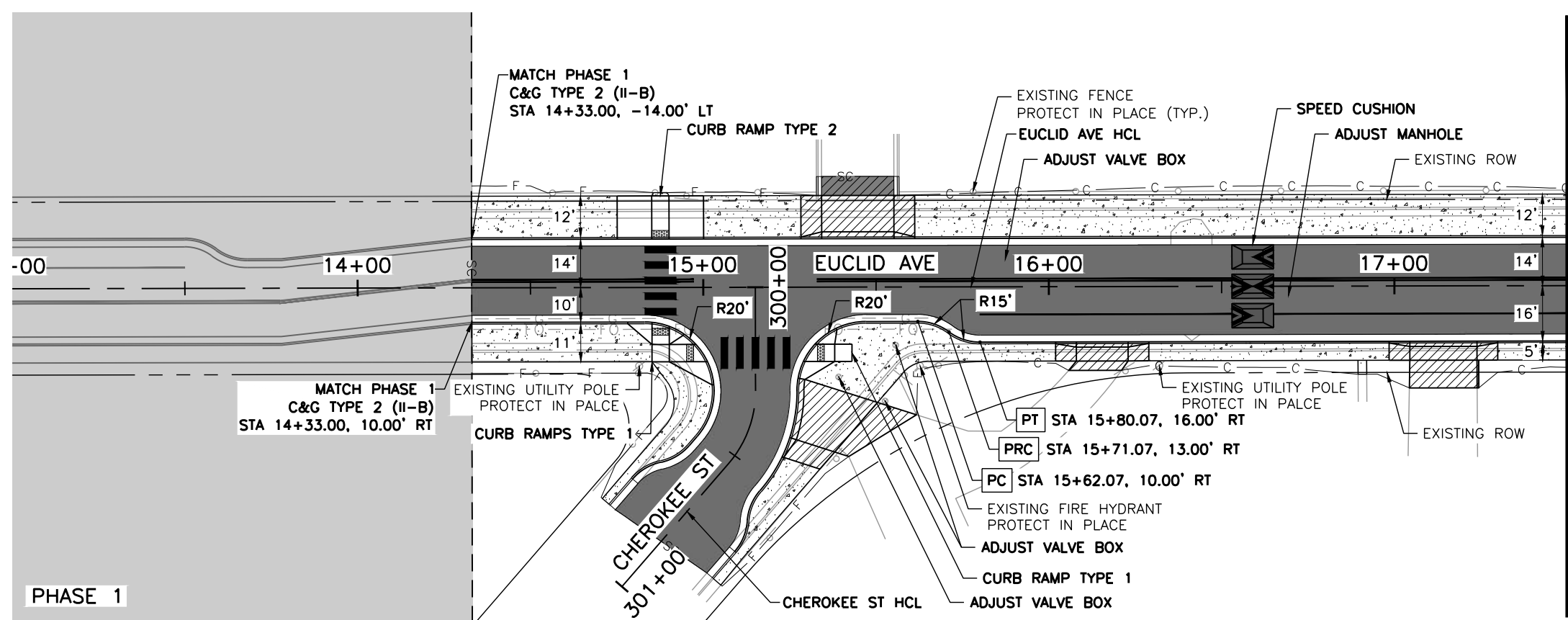
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 Colorado
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 2255 W Berry Avenue
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Detailer:	LML		
Sheet Subset:	DEMO	Subset Sheet Number:	3 of 3

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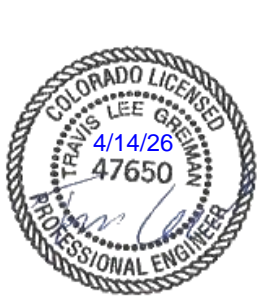
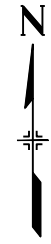
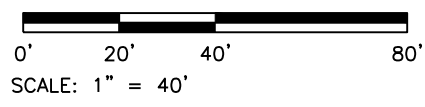
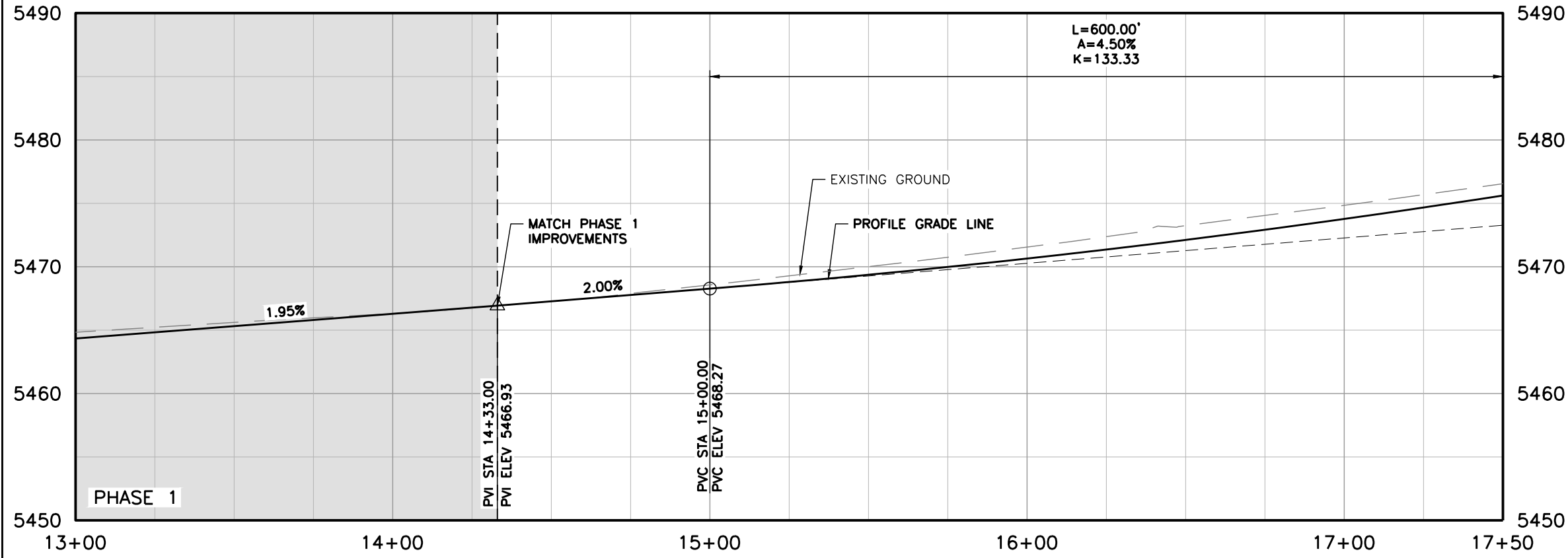
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MATCHLINE STA 17+50
 SEE SHEET 22

- LEGEND:**
- EUCLID AVE IMPROVEMENTS - PHASE 1 COMPLETED SUMMER 2025
 - HOT MIX ASPHALT
 - HOT MIX ASPHALT (PATCHING)
 - CONCRETE PAVEMENT (6 INCH)
 - CONCRETE PAVEMENT (10 INCH)
 - CONCRETE PAVEMENT (SPECIAL)
 - CONCRETE SIDEWALK (6 INCH)
 - SC — SAWCUT LIMITS
 - F — TOE OF FILL
 - C — TOP OF CUT

- NOTES:**
1. ALL STATION, OFFSET CALLOUTS REFERENCE THE EUCLID AVE HCL AND ARE TO THE FLOWLINE.
 2. ALL RADIAL DIMENSIONS ARE TO THE FLOWLINE.
 3. REFER TO THE ROADWAY DETAIL SHEETS FOR ADDITIONAL INFORMATION NOT PROVIDED ON THE ROADWAY PLAN AND PROFILE SHEETS.
 4. REFER TO THE STORM SEWER PLAN AND PROFILE SHEETS FOR ADDITIONAL INFORMATION ON STORM SEWER IMPROVEMENTS.



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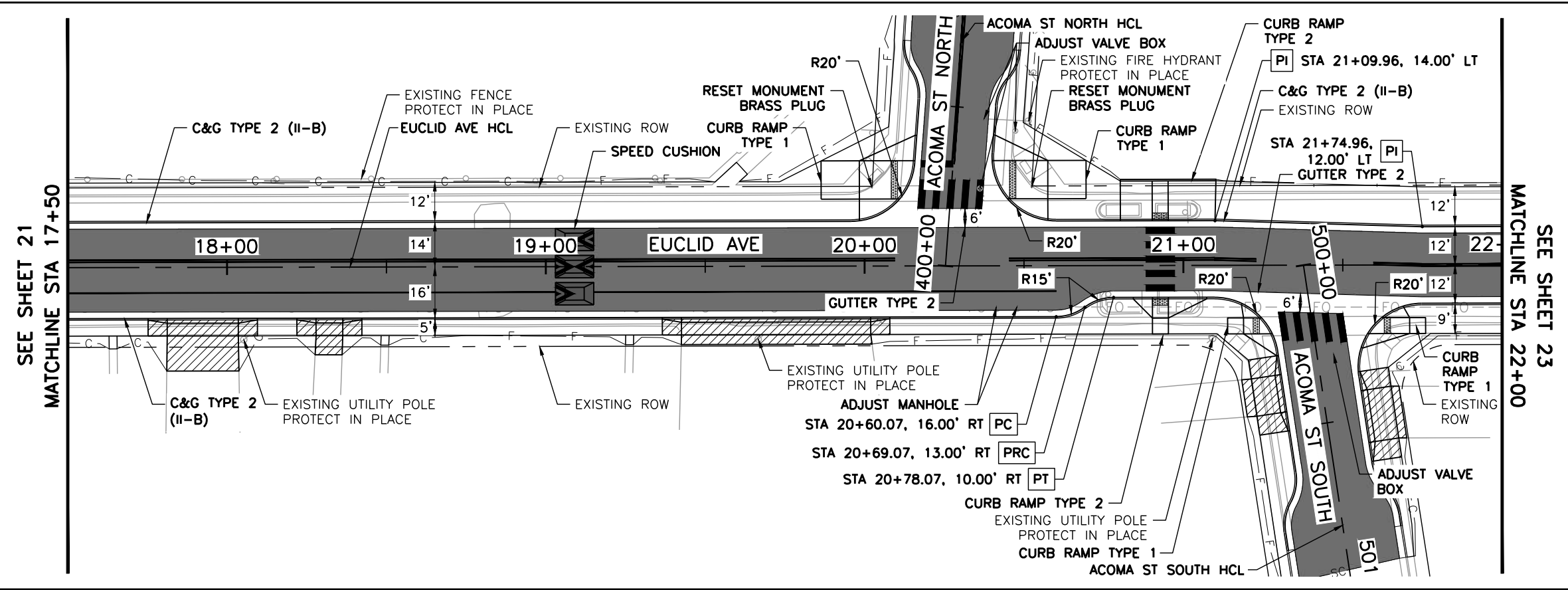
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Designer:	LML	Structure Numbers:	
Detailer:	LML		
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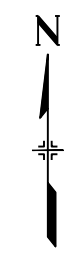
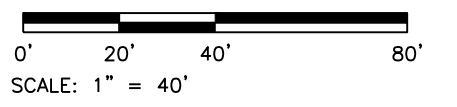
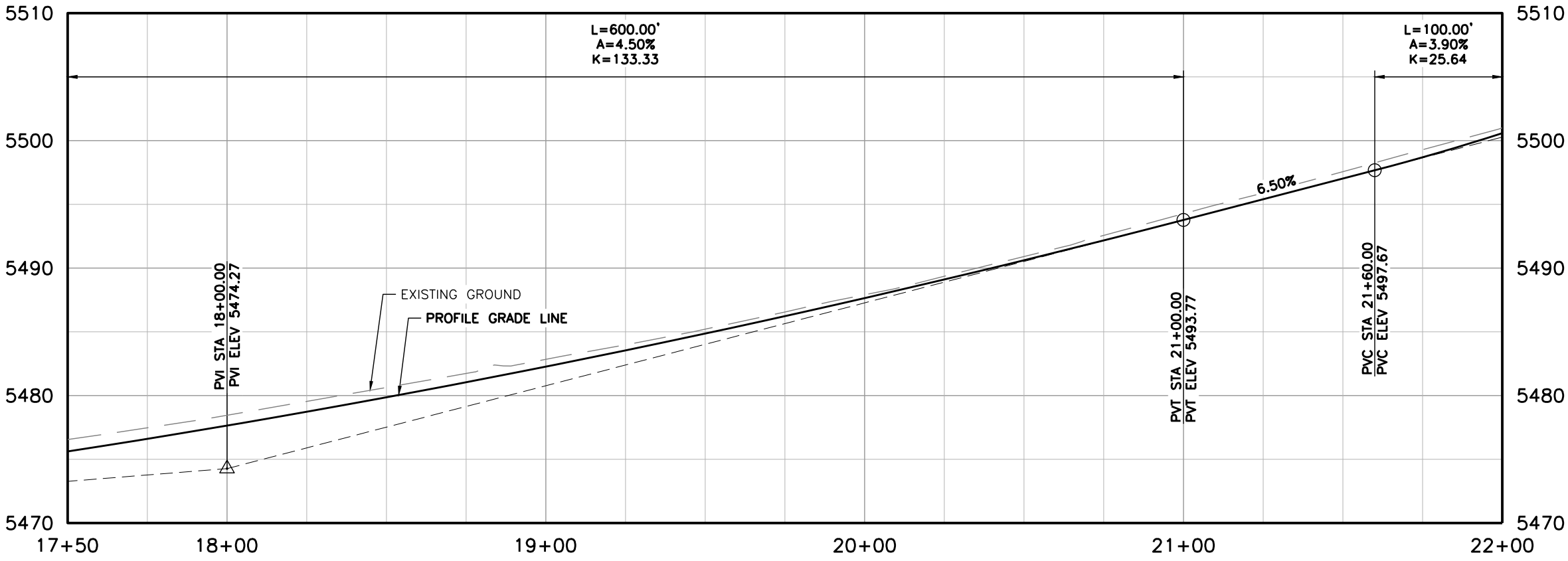


LEGEND:

- EUCLID AVE IMPROVEMENTS - PHASE 1 COMPLETED SUMMER 2025
- HOT MIX ASPHALT
- HOT MIX ASPHALT (PATCHING)
- CONCRETE PAVEMENT (6 INCH)
- CONCRETE PAVEMENT (10 INCH)
- CONCRETE PAVEMENT (SPECIAL)
- CONCRETE SIDEWALK (6 INCH)
- SC — SAWCUT LIMITS
- F — TOE OF FILL
- C — TOP OF CUT

NOTES:

1. ALL STATION, OFFSET CALLOUTS REFERENCE THE EUCLID AVE HCL AND ARE TO THE FLOWLINE.
2. ALL RADIAL DIMENSIONS ARE TO THE FLOWLINE.
3. REFER TO THE ROADWAY DETAIL SHEETS FOR ADDITIONAL INFORMATION NOT PROVIDED ON THE ROADWAY PLAN AND PROFILE SHEETS.
4. REFER TO THE STORM SEWER PLAN AND PROFILE SHEETS FOR ADDITIONAL INFORMATION ON STORM SEWER IMPROVEMENTS.



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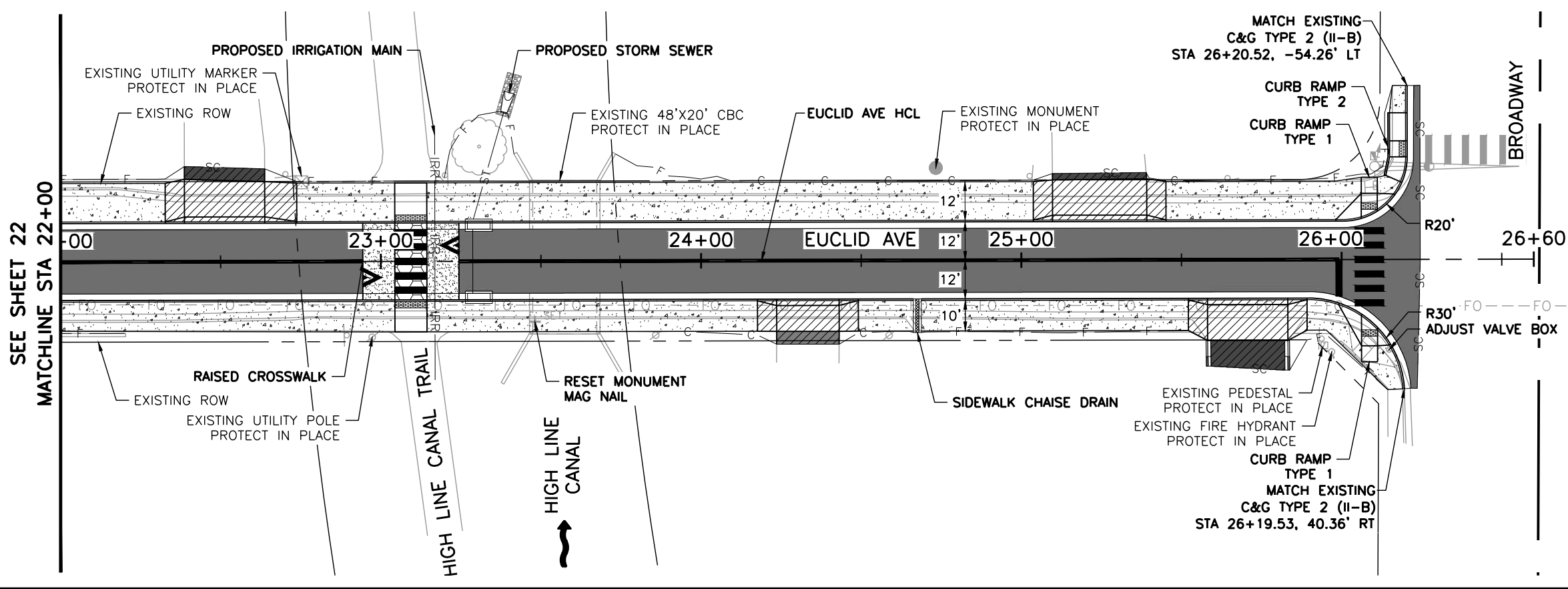
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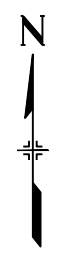
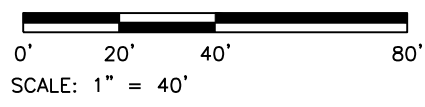
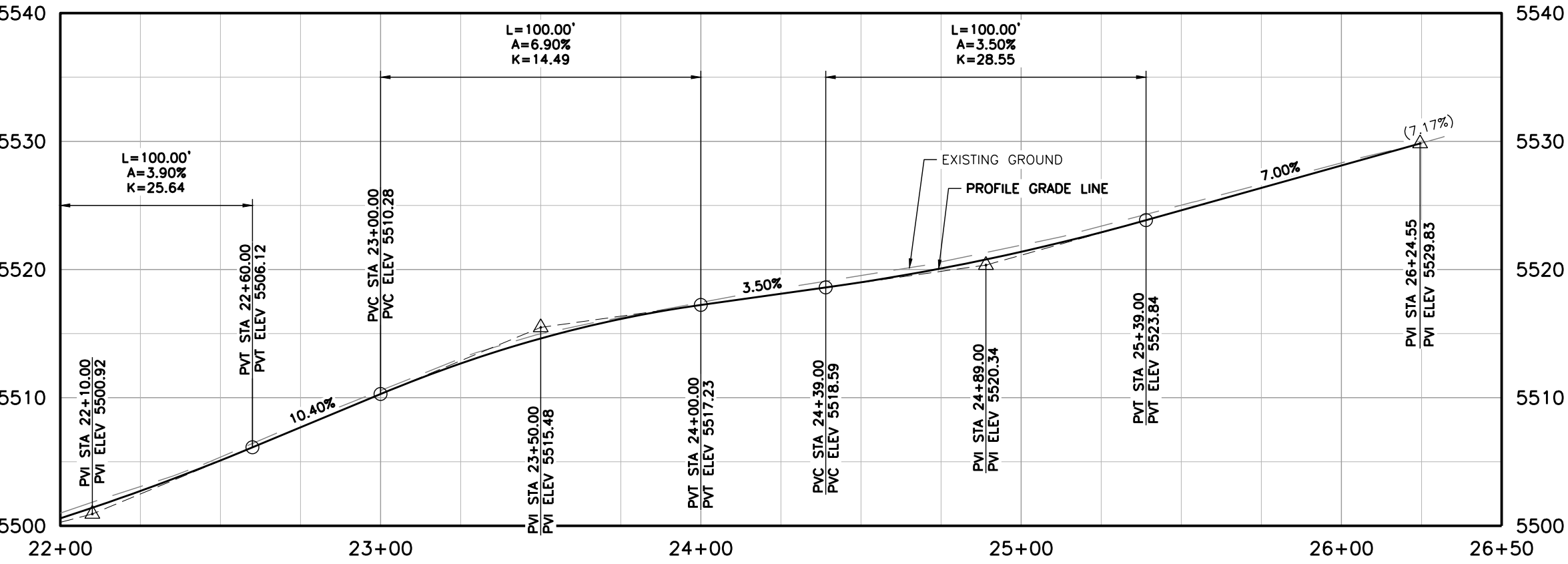
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- LEGEND:**
- EUCLID AVE IMPROVEMENTS - PHASE 1 COMPLETED SUMMER 2025
 - HOT MIX ASPHALT
 - HOT MIX ASPHALT (PATCHING)
 - CONCRETE PAVEMENT (6 INCH)
 - CONCRETE PAVEMENT (10 INCH)
 - CONCRETE PAVEMENT (SPECIAL)
 - CONCRETE SIDEWALK (6 INCH)
- SC - SAWCUT LIMITS
 - F - TOE OF FILL
 - C - TOP OF CUT
- NOTES:**
- ALL STATION, OFFSET CALLOUTS REFERENCE THE EUCLID AVE HCL AND ARE TO THE FLOWLINE.
 - ALL RADIAL DIMENSIONS ARE TO THE FLOWLINE.
 - REFER TO THE ROADWAY DETAIL SHEETS FOR ADDITIONAL INFORMATION NOT PROVIDED ON THE ROADWAY PLAN AND PROFILE SHEETS.
 - REFER TO THE STORM SEWER PLAN AND PROFILE SHEET FOR ADDITIONAL INFORMATION ON STORM SEWER IMPROVEMENTS.
 - REFER TO THE IRRIGATION SHEETS FOR ADDITIONAL INFORMATION ON PROPOSED IMPROVEMENTS AT THE HIGH LINE CANAL TRAIL.



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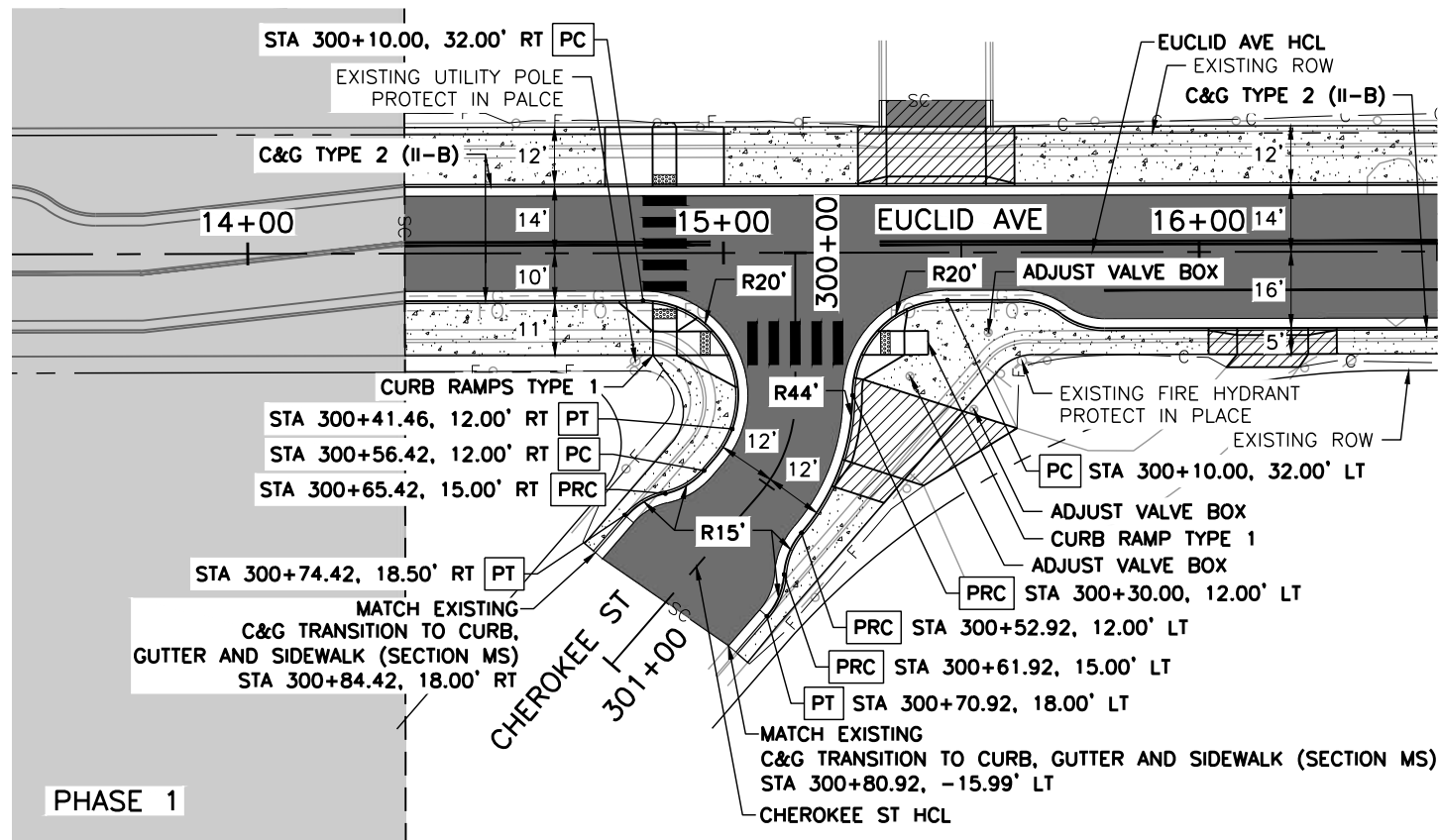
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No. Revisions:		Designer:	LML
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LEGEND:

- EUCLID AVE IMPROVEMENTS - PHASE 1 COMPLETED SUMMER 2025
- HOT MIX ASPHALT
- HOT MIX ASPHALT (PATCHING)
- CONCRETE PAVEMENT (6 INCH)
- CONCRETE PAVEMENT (10 INCH)
- CONCRETE PAVEMENT (SPECIAL)
- CONCRETE SIDEWALK (6 INCH)

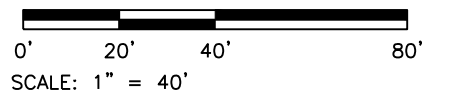
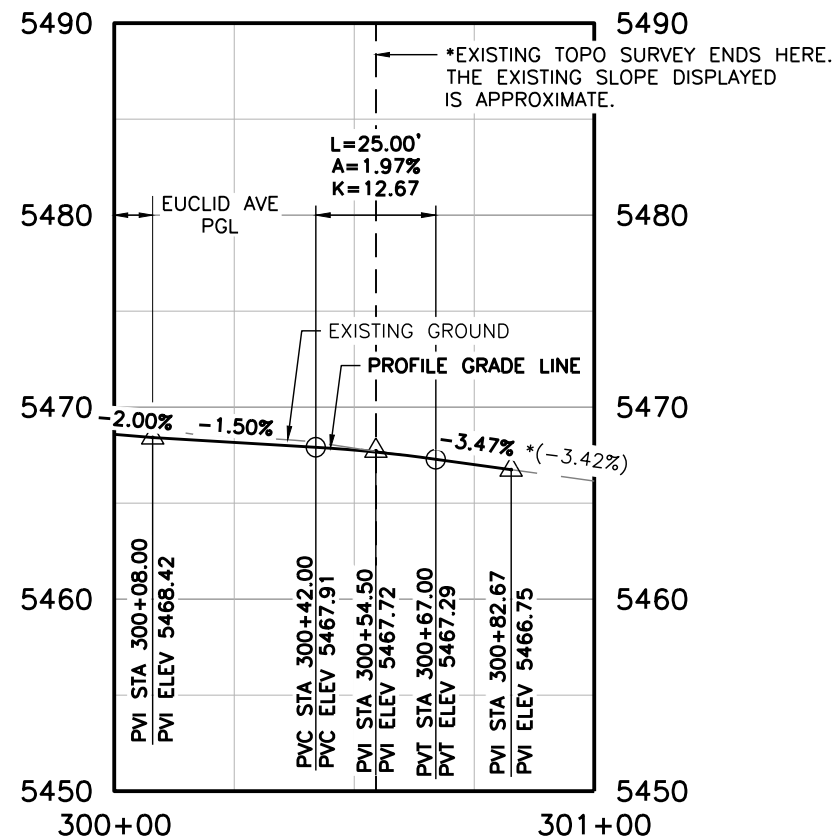
— SC — SAWCUT LIMITS

— F — TOE OF FILL

— C — TOP OF CUT

NOTES:

1. ALL STATION, OFFSET CALLOUTS REFERENCE THE CHEROKEE ST HCL AND ARE TO THE FLOWLINE.
2. ALL RADIAL DIMENSIONS ARE TO THE FLOWLINE.
3. REFER TO THE ROADWAY DETAIL SHEETS FOR ADDITIONAL INFORMATION NOT PROVIDED ON THE ROADWAY PLAN AND PROFILE SHEETS.
4. THE PROPOSED TIE-IN LOCATION ON CHEROKEE ST IS APPROXIMATE. EXISTING TOPOGRAPHIC SURVEY ENDS PRIOR TO THE PROPOSED SAWCUT LINE. ADJUSTMENTS IN THE FIELD MAY BE NEEDED TO DETERMINE IF THE TIE-IN LOCATION SHOULD BE MODIFIED.
5. THE CHEROKEE ST PROFILE GRADE LINE SHOWN ON THIS SHEET IS APPROXIMATE. ADJUSTMENTS IN THE FIELD MAY BE NEEDED TO DETERMINE IF THE VERTICAL ALIGNMENT SHOULD BE MODIFIED TO HAVE MINIMAL IMPACTS TO ADJACENT PRIVATE PROPERTIES.



Print Date: 4/14/2026
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Date	Comments	Initials	

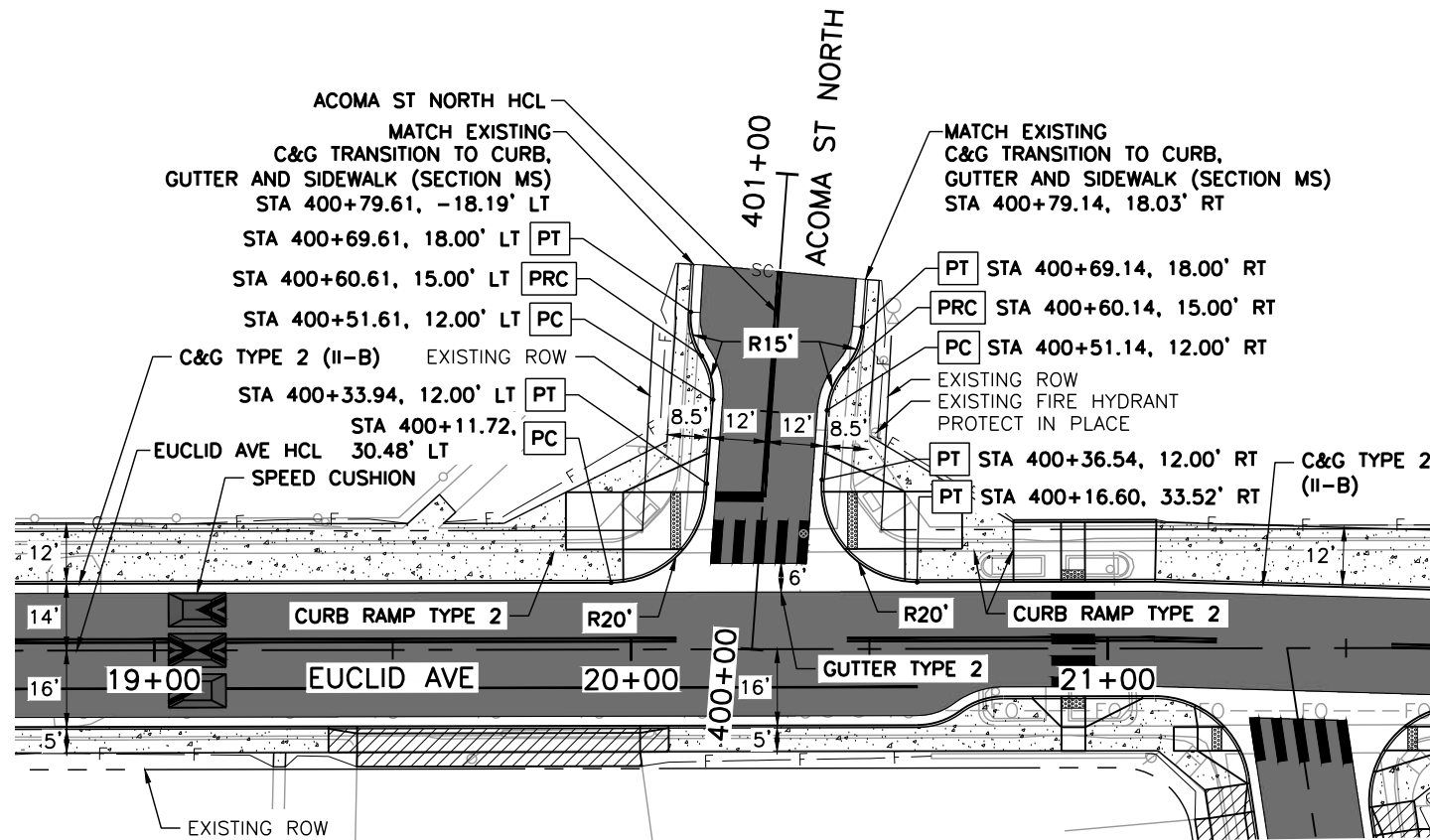
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 Littleton, Colorado 80120

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No. Revisions:	
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Void:	

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Designer:	LML	Structure Numbers	
Detailer:	LML		
Sheet Subset:	RDWAY PNP	Subset Sheet Number:	4 of 6

Project No.	
26-07	
Sheet Number: 24 of 73	

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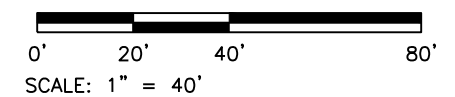
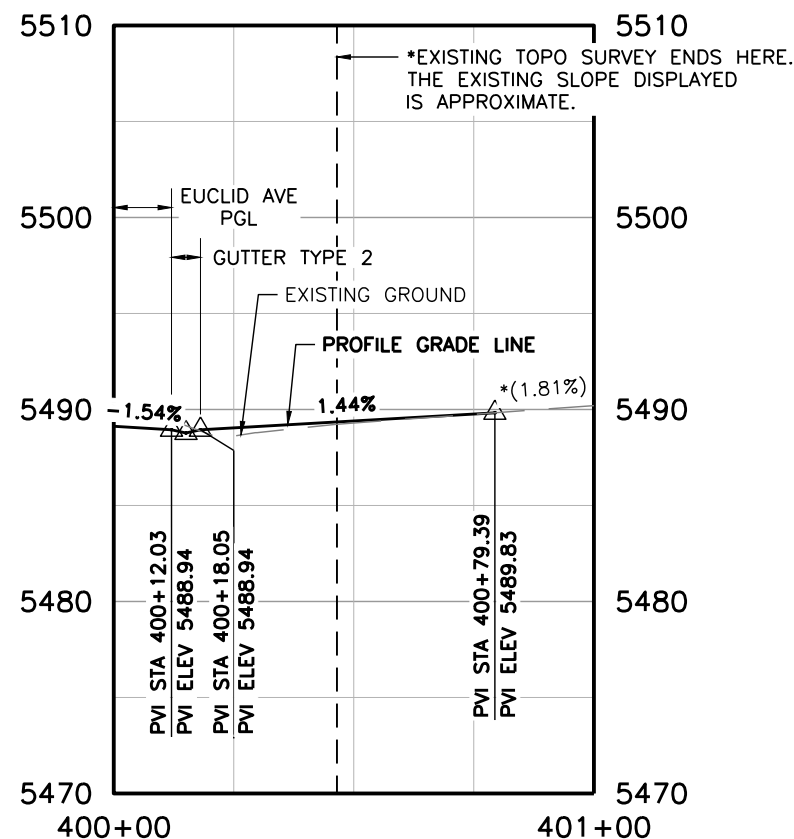
LEGEND:

- EUCLID AVE IMPROVEMENTS - PHASE 1 COMPLETED SUMMER 2025
- HOT MIX ASPHALT
- HOT MIX ASPHALT (PATCHING)
- CONCRETE PAVEMENT (6 INCH)
- CONCRETE PAVEMENT (10 INCH)
- CONCRETE PAVEMENT (SPECIAL)
- CONCRETE SIDEWALK (6 INCH)

- SC — SAWCUT LIMITS
- F — TOE OF FILL
- C — TOP OF CUT

NOTES:

1. ALL STATION, OFFSET CALLOUTS REFERENCE THE ACOMA ST NORTH HCL AND ARE TO THE FLOWLINE.
2. ALL RADIAL DIMENSIONS ARE TO THE FLOWLINE.
3. REFER TO THE ROADWAY DETAIL SHEETS FOR ADDITIONAL INFORMATION NOT PROVIDED ON THE ROADWAY PLAN AND PROFILE SHEETS.
4. THE PROPOSED TIE-IN LOCATION ON ACOMA ST NORTH IS APPROXIMATE. EXISTING TOPOGRAPHIC SURVEY ENDS PRIOR TO THE PROPOSED SAWCUT LINE. ADJUSTMENTS IN THE FIELD MAY BE NEEDED TO DETERMINE IF THE TIE-IN LOCATION SHOULD BE MODIFIED.
5. THE ACOMA ST NORTH PROFILE GRADE LINE SHOWN ON THIS SHEET IS APPROXIMATE. ADJUSTMENTS IN THE FIELD MAY BE NEEDED TO DETERMINE IF THE VERTICAL ALIGNMENT SHOULD BE MODIFIED TO HAVE MINIMAL IMPACTS TO ADJACENT PRIVATE PROPERTIES.



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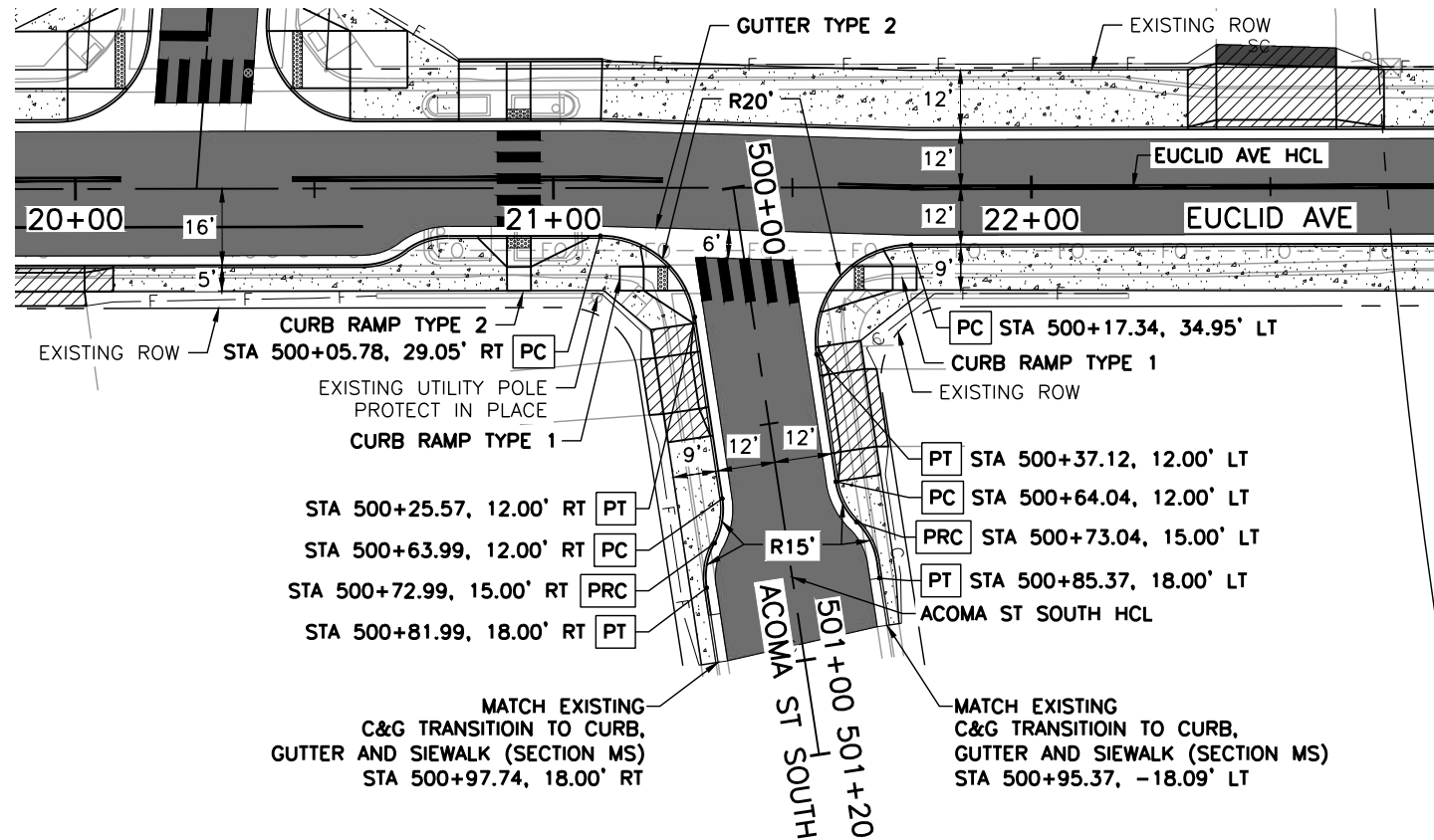
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Detailer:	LML		
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Project No.	26-07
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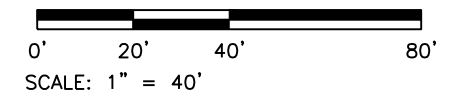
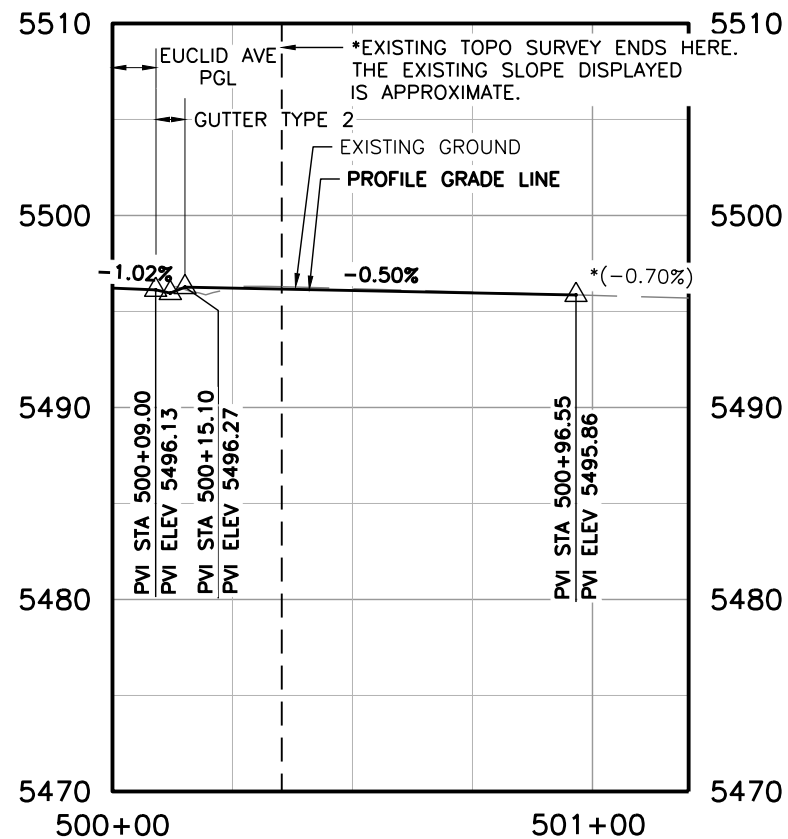
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- EUCLID AVE IMPROVEMENTS - PHASE 1 COMPLETED SUMMER 2025
- HOT MIX ASPHALT
- HOT MIX ASPHALT (PATCHING)
- CONCRETE PAVEMENT (6 INCH)
- CONCRETE PAVEMENT (10 INCH)
- CONCRETE PAVEMENT (SPECIAL)
- CONCRETE SIDEWALK (6 INCH)

- SC — SAWCUT LIMITS
- F — TOE OF FILL
- C — TOP OF CUT

NOTES:

1. ALL STATION, OFFSET CALLOUTS REFERENCE THE ACOMA ST SOUTH HCL AND ARE TO THE FLOWLINE.
2. ALL RADIAL DIMENSIONS ARE TO THE FLOWLINE.
3. REFER TO THE ROADWAY DETAIL SHEETS FOR ADDITIONAL INFORMATION NOT PROVIDED ON THE ROADWAY PLAN AND PROFILE SHEETS.
4. THE PROPOSED TIE-IN LOCATION ON ACOMA ST SOUTH IS APPROXIMATE. EXISTING TOPOGRAPHIC SURVEY ENDS PRIOR TO THE PROPOSED SAWCUT LINE. ADJUSTMENTS IN THE FIELD MAY BE NEEDED TO DETERMINE IF THE TIE-IN LOCATION SHOULD BE MODIFIED.
5. THE ACOMA ST SOUTH PROFILE GRADE LINE SHOWN ON THIS SHEET IS APPROXIMATE. ADJUSTMENTS IN THE FIELD MAY BE NEEDED TO DETERMINE IF THE VERTICAL ALIGNMENT SHOULD BE MODIFIED TO HAVE MINIMAL IMPACTS TO ADJACENT PRIVATE PROPERTIES. THE PROFILE GRADE LINE SHALL BE A MINIMUM OF 0.50%.



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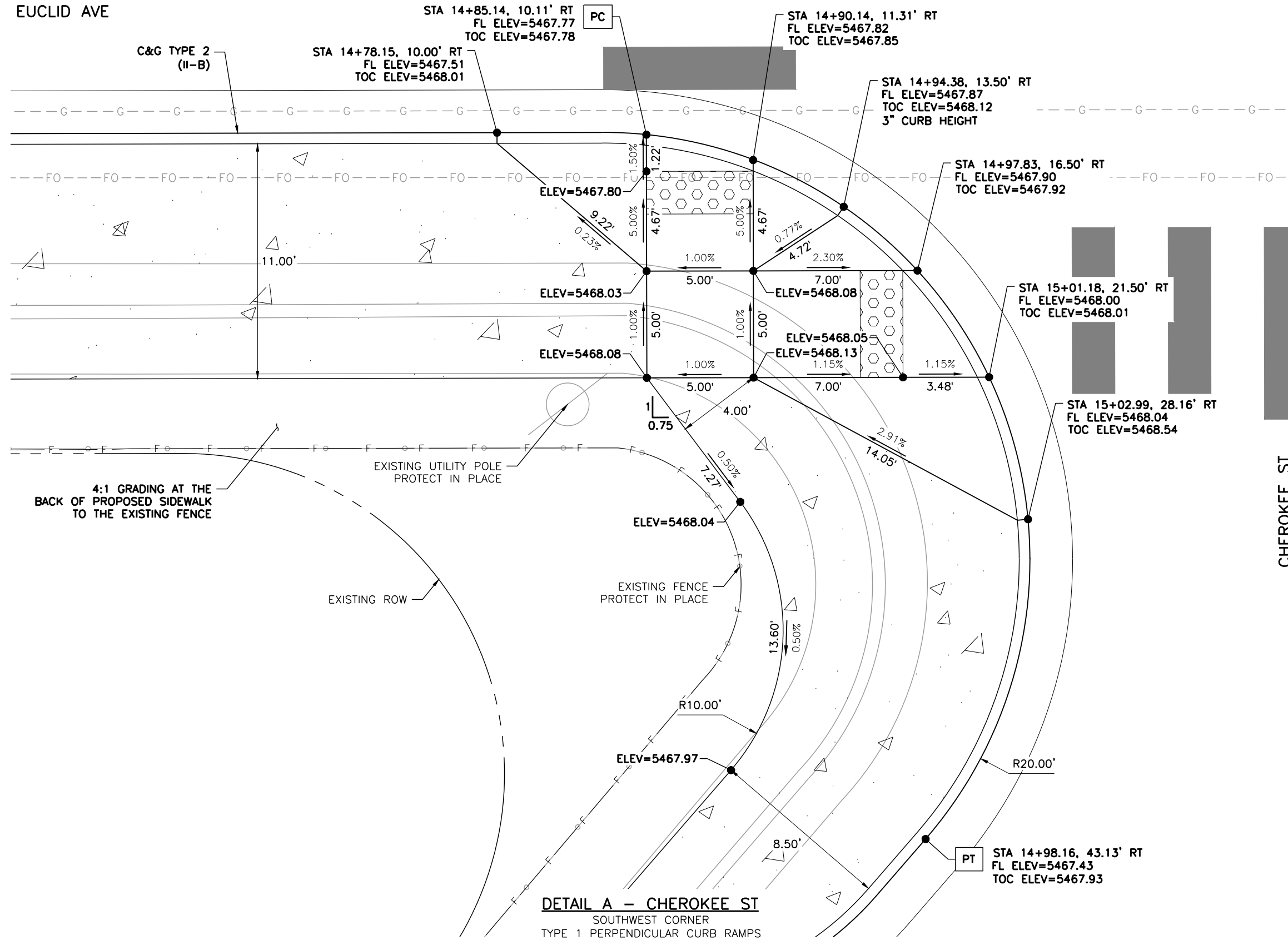
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Detailer:	LML		
Sheet Subset:	RDWAY PNP	Subset Sheet Number:	6 of 6

Project No.	26-07
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EUCLID AVE



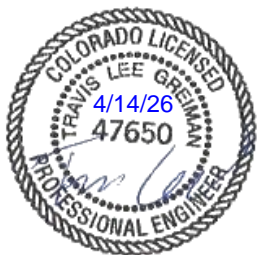
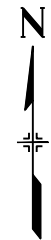
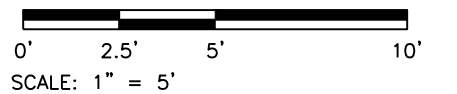
DETAIL A - CHEROKEE ST
SOUTHWEST CORNER
TYPE 1 PERPENDICULAR CURB RAMPS

LEGEND:

- HOT MIX ASPHALT (PATCHING)
- CONCRETE PAVEMENT (6 INCH)
- CONCRETE PAVEMENT (10 INCH)
- CONCRETE PAVEMENT (SPECIAL)
- CONCRETE SIDEWALK (6 INCH)
- DETECTABLE WARNING SURFACE (2 FEET MIN.)
- SC — SAWCUT LIMITS
- F — TOE OF FILL — C — TOP OF CUT

NOTES:

1. ALL STATION, OFFSET CALLOUTS REFERENCE THE EUCLID AVE HCL AND ARE TO THE FLOWLINE.
2. LINE AND CURVE DIMENSIONS AND PROPOSED SLOW ARROWS (POINTING TOWARDS THE LOW POINT) ARE APPROXIMATE AND ARE PROVIDED FOR REFERENCE.
3. TIE-IN LOCATIONS ARE APPROXIMATE. TIE-IN LOCATIONS SHALL BE TO THE NEAREST EXISTING JOINT.
4. EXPANSION MATERIAL SHALL BE PLACED BETWEEN THE SIDEWALK AND BACK OF CURB AND AROUND FIXED OBJECTS. EXPANSION MATERIAL SHALL BE INCLUDED IN THE COST OF THE SIDEWALK.
5. CURB RAMP CONSTRUCTION SHALL CONFORM TO THE GRADE, WIDTH, AND LENGTH REQUIREMENTS AS SHOWN IN CDOT STD PLAN NO. M-608-1. WHERE FIELD CONDITIONS PREVENT A FULLY COMPLIANT FACILITY, THE CONTRACTOR SHALL WORK WITH THE ENGINEER TO VERIFY THE FIELD CONSTRAINTS, DOCUMENT THAT THE FACILITY WILL BE BUILT TO BE COMPLIANT TO THE MAXIMUM EXTENT FEASIBLE, AND DOCUMENT AND EXCEPTION TO BE FILED WITH THE CITY.
6. FL=FLOWLINE 7. TOC=TOP OF CURB



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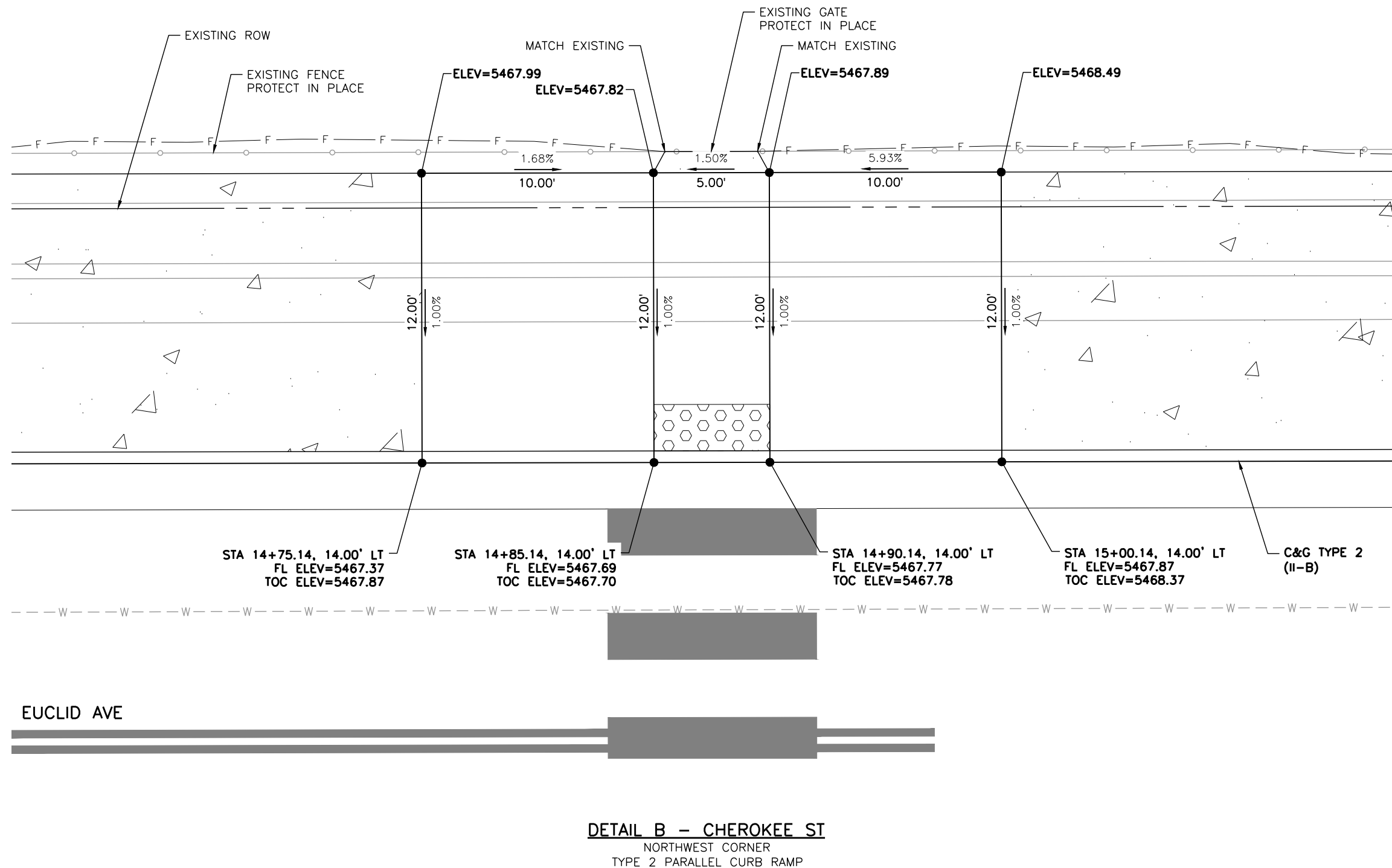
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Project No.

26-07

Sheet Number: 27 of 73

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LEGEND:

- HOT MIX ASPHALT (PATCHING)
- CONCRETE PAVEMENT (6 INCH)
- CONCRETE PAVEMENT (10 INCH)
- CONCRETE PAVEMENT (SPECIAL)
- CONCRETE SIDEWALK (6 INCH)
- DETECTABLE WARNING SURFACE (2 FEET MIN.)
- SC — SAWCUT LIMITS
- F — TOE OF FILL — C — TOP OF CUT

NOTES:

1. ALL STATION, OFFSET CALLOUTS REFERENCE THE EUCLID AVE HCL AND ARE TO THE FLOWLINE.
2. LINE AND CURVE DIMENSIONS AND PROPOSED SLOW ARROWS (POINTING TOWARDS THE LOW POINT) ARE APPROXIMATE AND ARE PROVIDED FOR REFERENCE.
3. TIE-IN LOCATIONS ARE APPROXIMATE. TIE-IN LOCATIONS SHALL BE TO THE NEAREST EXISTING JOINT.
4. EXPANSION MATERIAL SHALL BE PLACED BETWEEN THE SIDEWALK AND BACK OF CURB AND AROUND FIXED OBJECTS. EXPANSION MATERIAL SHALL BE INCLUDED IN THE COST OF THE SIDEWALK.
5. CURB RAMP CONSTRUCTION SHALL CONFORM TO THE GRADE, WIDTH, AND LENGTH REQUIREMENTS AS SHOWN IN CDOT STD PLAN NO. M-608-1. WHERE FIELD CONDITIONS PREVENT A FULLY COMPLIANT FACILITY, THE CONTRACTOR SHALL WORK WITH THE ENGINEER TO VERIFY THE FIELD CONSTRAINTS, DOCUMENT THAT THE FACILITY WILL BE BUILT TO BE COMPLIANT TO THE MAXIMUM EXTENT FEASIBLE, AND DOCUMENT AND EXCEPTION TO BE FILED WITH THE CITY.
6. FL=FLOWLINE 7. TOC=TOP OF CURB



DETAIL B - CHEROKEE ST
NORTHWEST CORNER
TYPE 2 PARALLEL CURB RAMP

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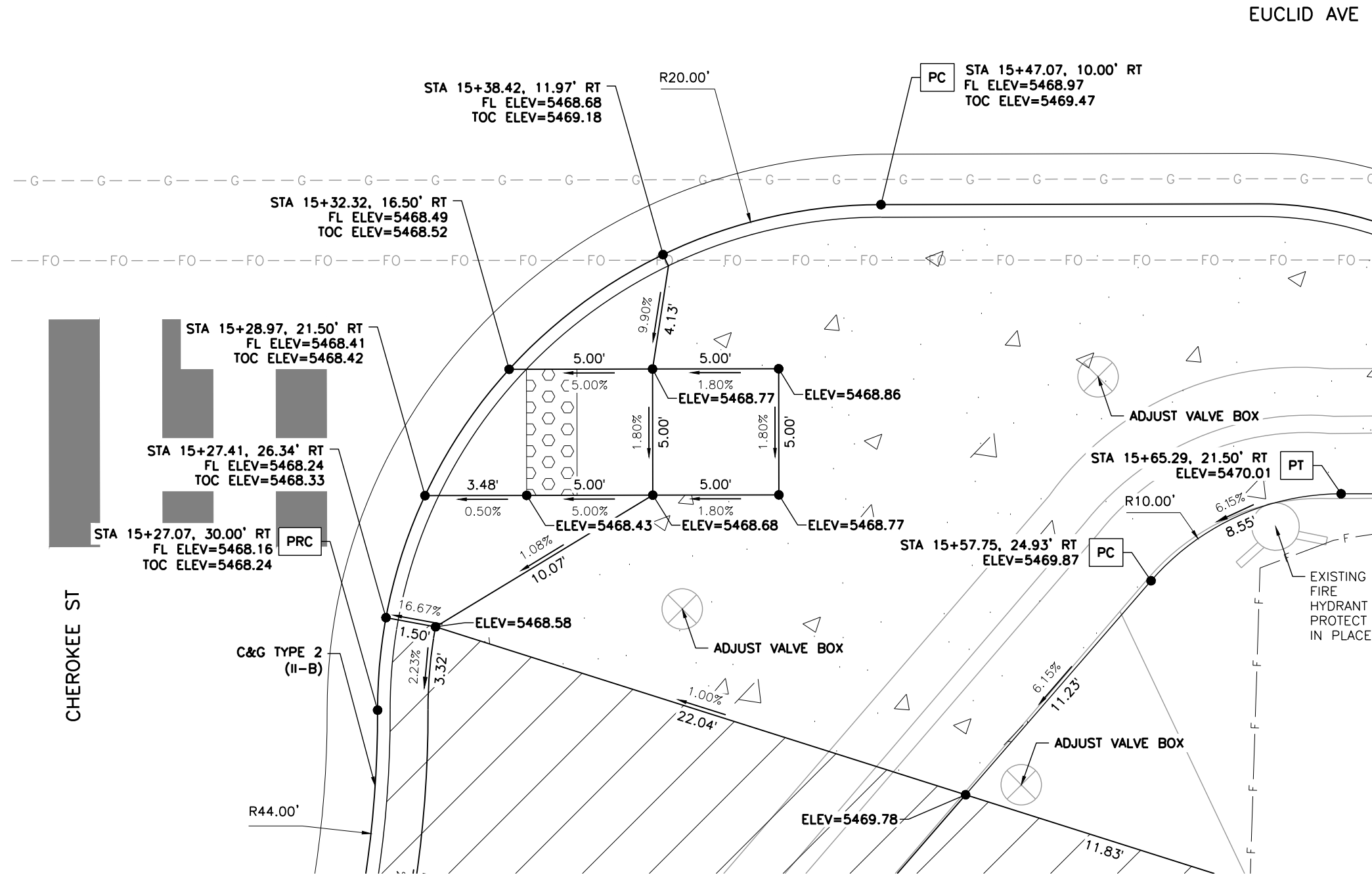
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No. Revisions:
Revised:
Void:

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Designer:	LML	Structure Numbers:	
Detailer:	LML		
Sheet Subset:	RDWY DTLS	Subset Sheet Number:	2 of 25

Project No.
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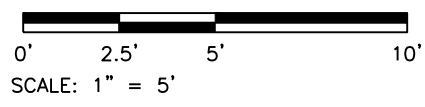


DETAIL C - CHEROKEE ST
SOUTHEAST CORNER
TYPE 1 PERPENDICULAR CURB RAMP

- LEGEND:**
- HOT MIX ASPHALT (PATCHING)
 - CONCRETE PAVEMENT (6 INCH)
 - CONCRETE PAVEMENT (10 INCH)
 - CONCRETE PAVEMENT (SPECIAL)
 - CONCRETE SIDEWALK (6 INCH)
 - DETECTABLE WARNING SURFACE (2 FEET MIN.)

- SC — SAWCUT LIMITS
- F — TOE OF FILL — C — TOP OF CUT

- NOTES:**
1. ALL STATION, OFFSET CALLOUTS REFERENCE THE EUCLID AVE HCL AND ARE TO THE FLOWLINE.
 2. LINE AND CURVE DIMENSIONS AND PROPOSED SLOW ARROWS (POINTING TOWARDS THE LOW POINT) ARE APPROXIMATE AND ARE PROVIDED FOR REFERENCE.
 3. TIE-IN LOCATIONS ARE APPROXIMATE. TIE-IN LOCATIONS SHALL BE TO THE NEAREST EXISTING JOINT.
 4. EXPANSION MATERIAL SHALL BE PLACED BETWEEN THE SIDEWALK AND BACK OF CURB AND AROUND FIXED OBJECTS. EXPANSION MATERIAL SHALL BE INCLUDED IN THE COST OF THE SIDEWALK.
 5. CURB RAMP CONSTRUCTION SHALL CONFORM TO THE GRADE, WIDTH, AND LENGTH REQUIREMENTS AS SHOWN IN CDOT STD PLAN NO. M-608-1. WHERE FIELD CONDITIONS PREVENT A FULLY COMPLIANT FACILITY, THE CONTRACTOR SHALL WORK WITH THE ENGINEER TO VERIFY THE FIELD CONSTRAINTS, DOCUMENT THAT THE FACILITY WILL BE BUILT TO BE COMPLIANT TO THE MAXIMUM EXTENT FEASIBLE, AND DOCUMENT AND EXCEPTION TO BE FILED WITH THE CITY.
 6. FL=FLOWLINE 7. TOC=TOP OF CURB



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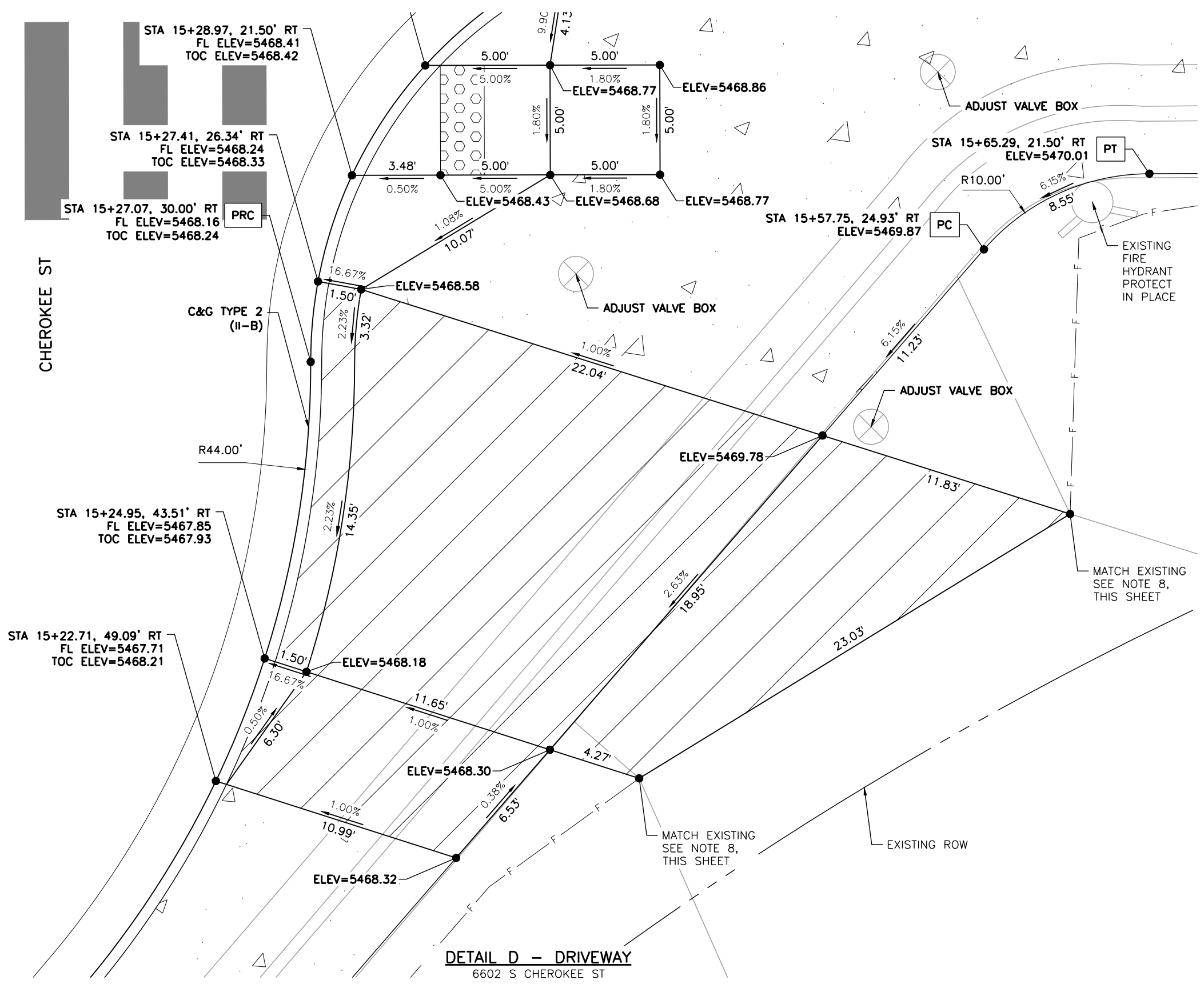
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Designer:	LML	Structure Numbers:	
Detailer:	LML		
Sheet Subset:	RDWAY DTLS	Subset Sheet Number:	3 of 25

Project No.	26-07
Sheet Number:	29 of 73

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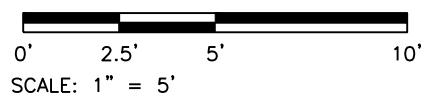


LEGEND:

- HOT MIX ASPHALT (PATCHING)
- CONCRETE PAVEMENT (6 INCH)
- CONCRETE PAVEMENT (10 INCH)
- CONCRETE PAVEMENT (SPECIAL)
- CONCRETE SIDEWALK (6 INCH)
- DETECTABLE WARNING SURFACE (2 FEET MIN.)
- SC — SAWCUT LIMITS
- F — TOE OF FILL — C — TOP OF CUT

NOTES:

1. ALL STATION, OFFSET CALLOUTS REFERENCE THE EUCLID AVE HCL AND ARE TO THE FLOWLINE.
2. LINE AND CURVE DIMENSIONS AND PROPOSED SLOW ARROWS (POINTING TOWARDS THE LOW POINT) ARE APPROXIMATE AND ARE PROVIDED FOR REFERENCE.
3. TIE-IN LOCATIONS ARE APPROXIMATE. TIE-IN LOCATIONS SHALL BE TO THE NEAREST EXISTING JOINT.
4. EXPANSION MATERIAL SHALL BE PLACED BETWEEN THE SIDEWALK AND BACK OF CURB AND AROUND FIXED OBJECTS. EXPANSION MATERIAL SHALL BE INCLUDED IN THE COST OF THE SIDEWALK.
5. THE CONTRACTOR SHALL WORK WITH THE ENGINEER TO VERIFY THE INFORMATION SHOWN OR SHALL MODIFY AND FIELD-FIT THE DESIGN AS NECESSARY.
6. FL=FLOWLINE
7. TOC=TOP OF CURB
8. EXISTING TOPOGRAPHIC SURVEY ENDS PRIOR TO THE PROPOSED TIE-IN LOCATION. LINE DIMENSIONS ARE APPROXIMATE AND ARE PROVIDED FOR REFERENCE.



DETAIL D - DRIVEWAY
6602 S CHEROKEE ST

Print Date: 4/14/2026
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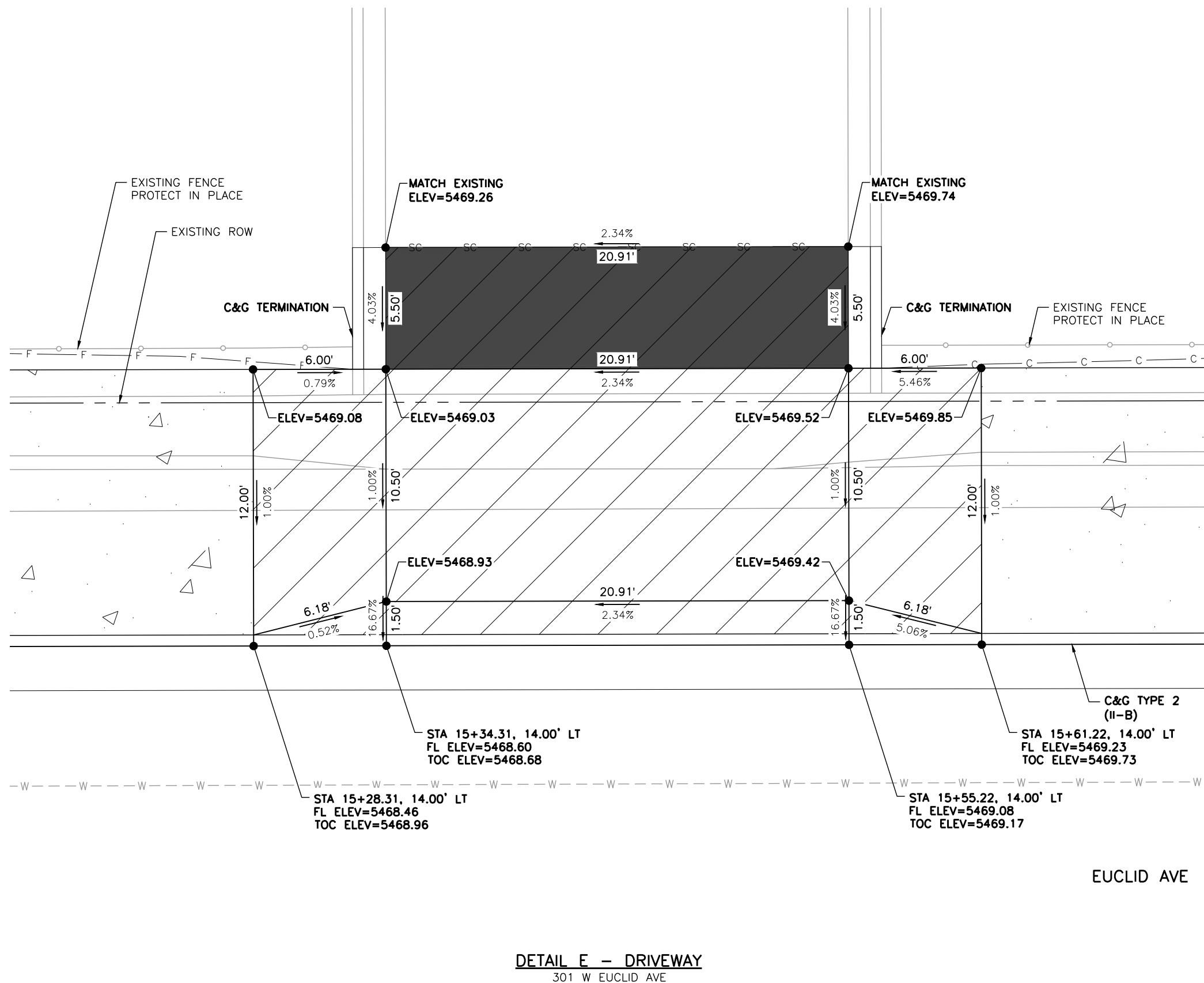
Littleton
Colorado
Public Works & Engineering
2255 W Berry Avenue
Littleton, Colorado 80120

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No. Revisions:
Revised:
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Detailer:	LML	Numbers	
Sheet Subset:	RDWAY DTL5	Subset Sheet Number:	4 of 25

Project No.
26-07
Sheet Number: 30 of 73

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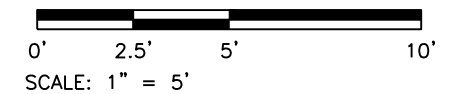
DETAIL E - DRIVEWAY
301 W EUCLID AVE

LEGEND:

- HOT MIX ASPHALT (PATCHING)
- CONCRETE PAVEMENT (6 INCH)
- CONCRETE PAVEMENT (10 INCH)
- CONCRETE PAVEMENT (SPECIAL)
- CONCRETE SIDEWALK (6 INCH)
- DETECTABLE WARNING SURFACE (2 FEET MIN.)
- SC — SAWCUT LIMITS
- F — TOE OF FILL — C — TOP OF CUT

NOTES:

1. ALL STATION, OFFSET CALLOUTS REFERENCE THE EUCLID AVE HCL AND ARE TO THE FLOWLINE.
2. LINE AND CURVE DIMENSIONS AND PROPOSED SLOW ARROWS (POINTING TOWARDS THE LOW POINT) ARE APPROXIMATE AND ARE PROVIDED FOR REFERENCE.
3. TIE-IN LOCATIONS ARE APPROXIMATE. TIE-IN LOCATIONS SHALL BE TO THE NEAREST EXISTING JOINT.
4. EXPANSION MATERIAL SHALL BE PLACED BETWEEN THE SIDEWALK AND BACK OF CURB AND AROUND FIXED OBJECTS. EXPANSION MATERIAL SHALL BE INCLUDED IN THE COST OF THE SIDEWALK.
5. THE CONTRACTOR SHALL WORK WITH THE ENGINEER TO VERIFY THE INFORMATION SHOWN OR SHALL MODIFY AND FIELD-FIT THE DESIGN AS NECESSARY.
6. FL=FLOWLINE
7. TOC=TOP OF CURB



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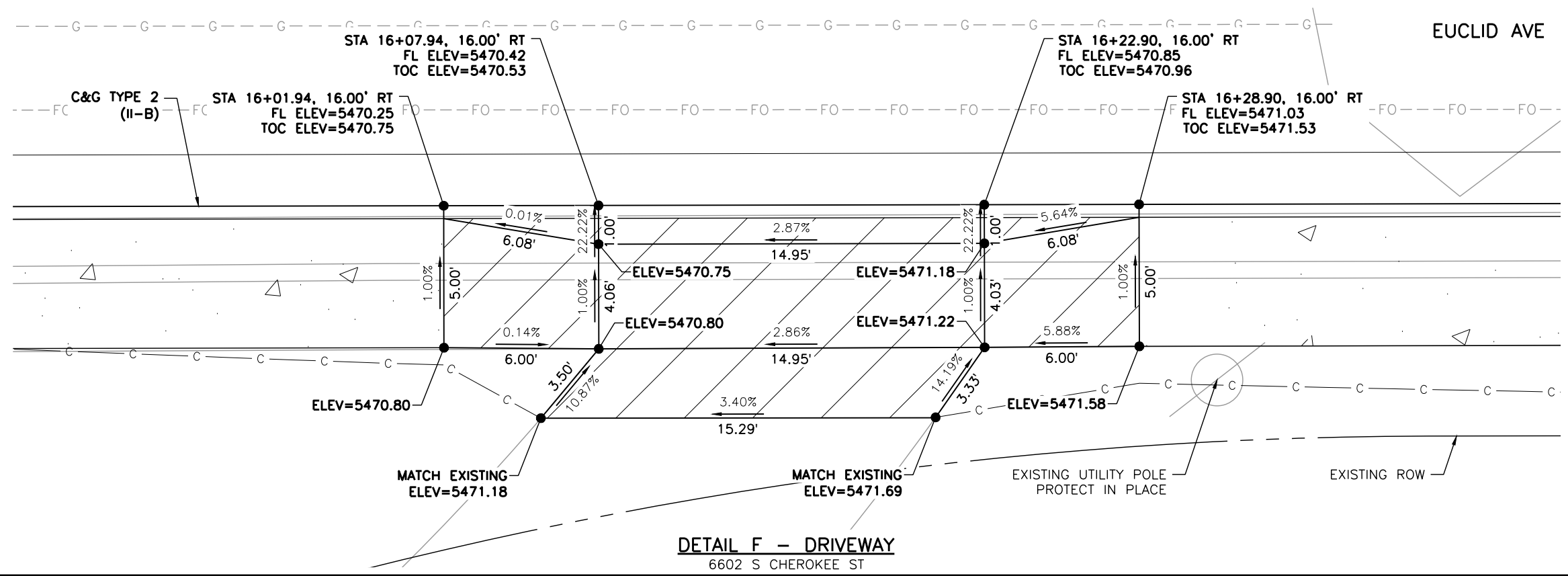
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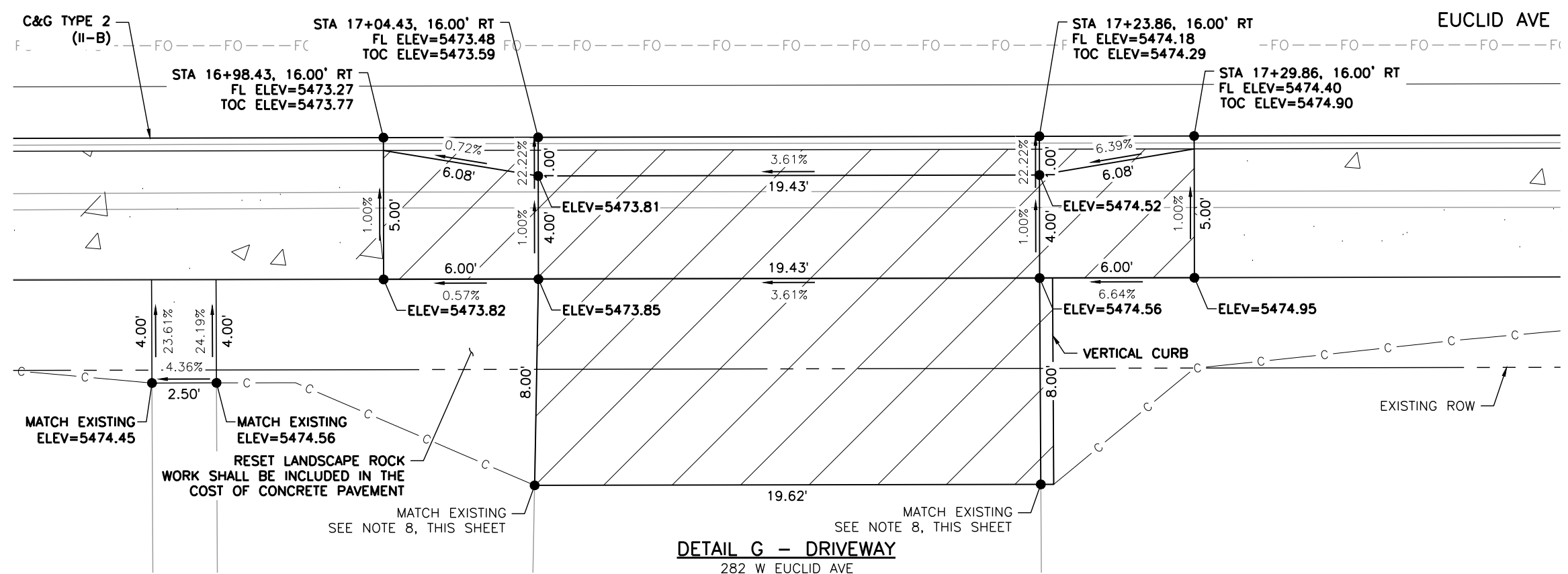
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Project No.
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DETAIL F - DRIVEWAY
6602 S CHEROKEE ST



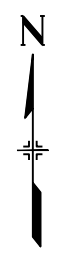
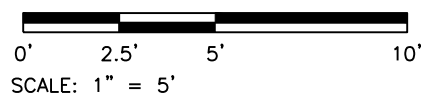
DETAIL G - DRIVEWAY
282 W EUCLID AVE

LEGEND:

- HOT MIX ASPHALT (PATCHING)
- CONCRETE PAVEMENT (6 INCH)
- CONCRETE PAVEMENT (10 INCH)
- CONCRETE PAVEMENT (SPECIAL)
- CONCRETE SIDEWALK (6 INCH)
- DETECTABLE WARNING SURFACE (2 FEET MIN.)
- SC — SAWCUT LIMITS
- F — TOE OF FILL — C — TOP OF CUT

NOTES:

1. ALL STATION, OFFSET CALLOUTS REFERENCE THE EUCLID AVE HCL AND ARE TO THE FLOWLINE.
2. LINE AND CURVE DIMENSIONS AND PROPOSED SLOW ARROWS (POINTING TOWARDS THE LOW POINT) ARE APPROXIMATE AND ARE PROVIDED FOR REFERENCE.
3. TIE-IN LOCATIONS ARE APPROXIMATE. TIE-IN LOCATIONS SHALL BE TO THE NEAREST EXISTING JOINT.
4. EXPANSION MATERIAL SHALL BE PLACED BETWEEN THE SIDEWALK AND BACK OF CURB AND AROUND FIXED OBJECTS. EXPANSION MATERIAL SHALL BE INCLUDED IN THE COST OF THE SIDEWALK.
5. THE CONTRACTOR SHALL WORK WITH THE ENGINEER TO VERIFY THE INFORMATION SHOWN OR SHALL MODIFY AND FIELD-FIT THE DESIGN AS NECESSARY.
6. FL=FLOWLINE
7. TOC=TOP OF CURB
8. EXISTING TOPOGRAPHIC SURVEY ENDS PRIOR TO THE PROPOSED TIE-IN LOCATION. LINE DIMENSIONS ARE APPROXIMATE AND ARE PROVIDED FOR REFERENCE.



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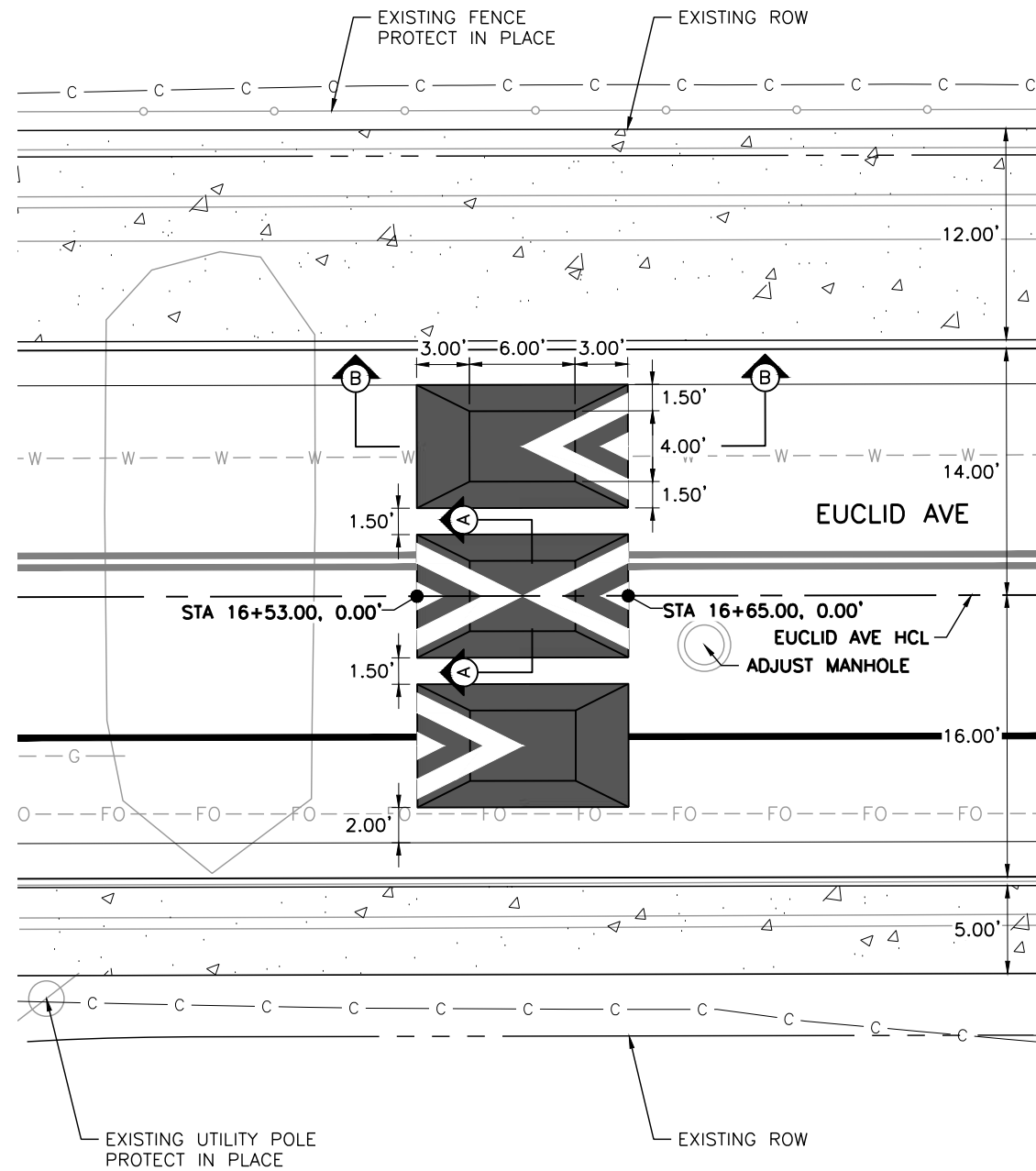
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 Colorado
 Public Works & Engineering
 2255 W Berry Avenue
 Littleton, Colorado 80120

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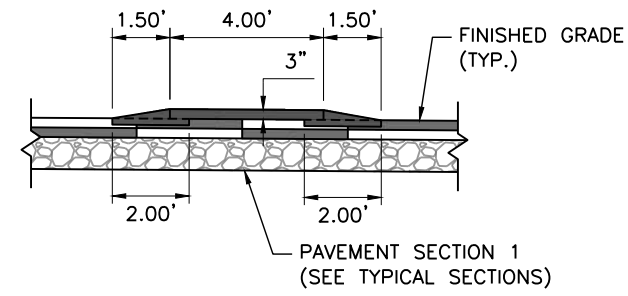
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Sheet Number: 32 of 73

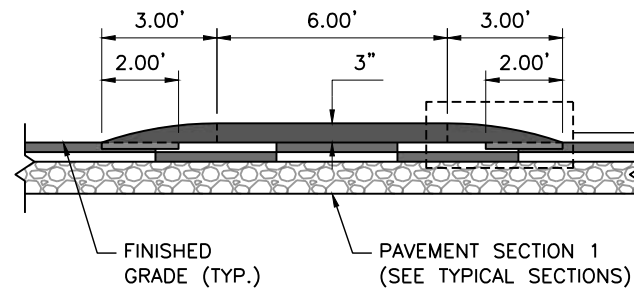
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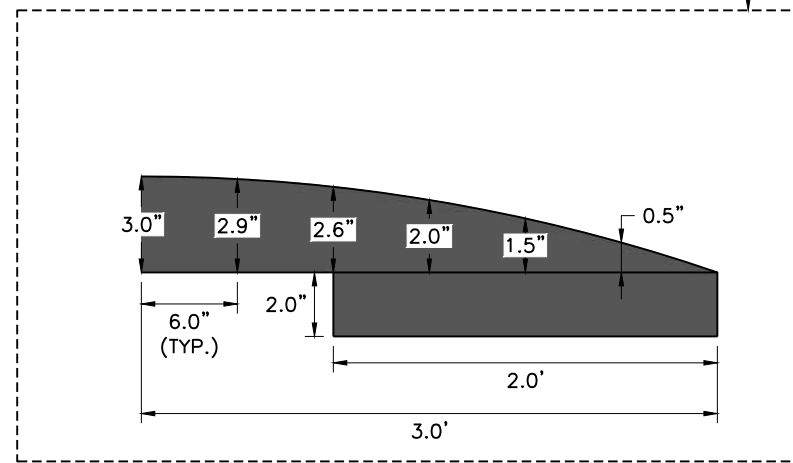
DETAIL H - SPEED CUSHIONS
EAST OF CHEROKEE ST



SECTION A-A
NOT TO SCALE



SECTION B-B
NOT TO SCALE

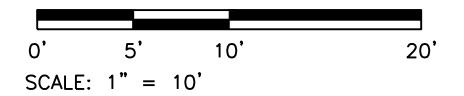


LEGEND:

- HOT MIX ASPHALT
- CONCRETE SIDEWALK (6 INCH)
- F — TOE OF FILL — C — TOP OF CUT

NOTES:

1. ALL STATION, OFFSET CALLOUTS REFERENCE THE EUCLID AVE HCL AND ARE TO THE FLOWLINE.
2. THE CONTRACTOR SHALL WORK WITH THE ENGINEER TO VERIFY THE INFORMATION SHOWN OR SHALL MODIFY AND FIELD-FIT THE DESIGN AS NECESSARY.



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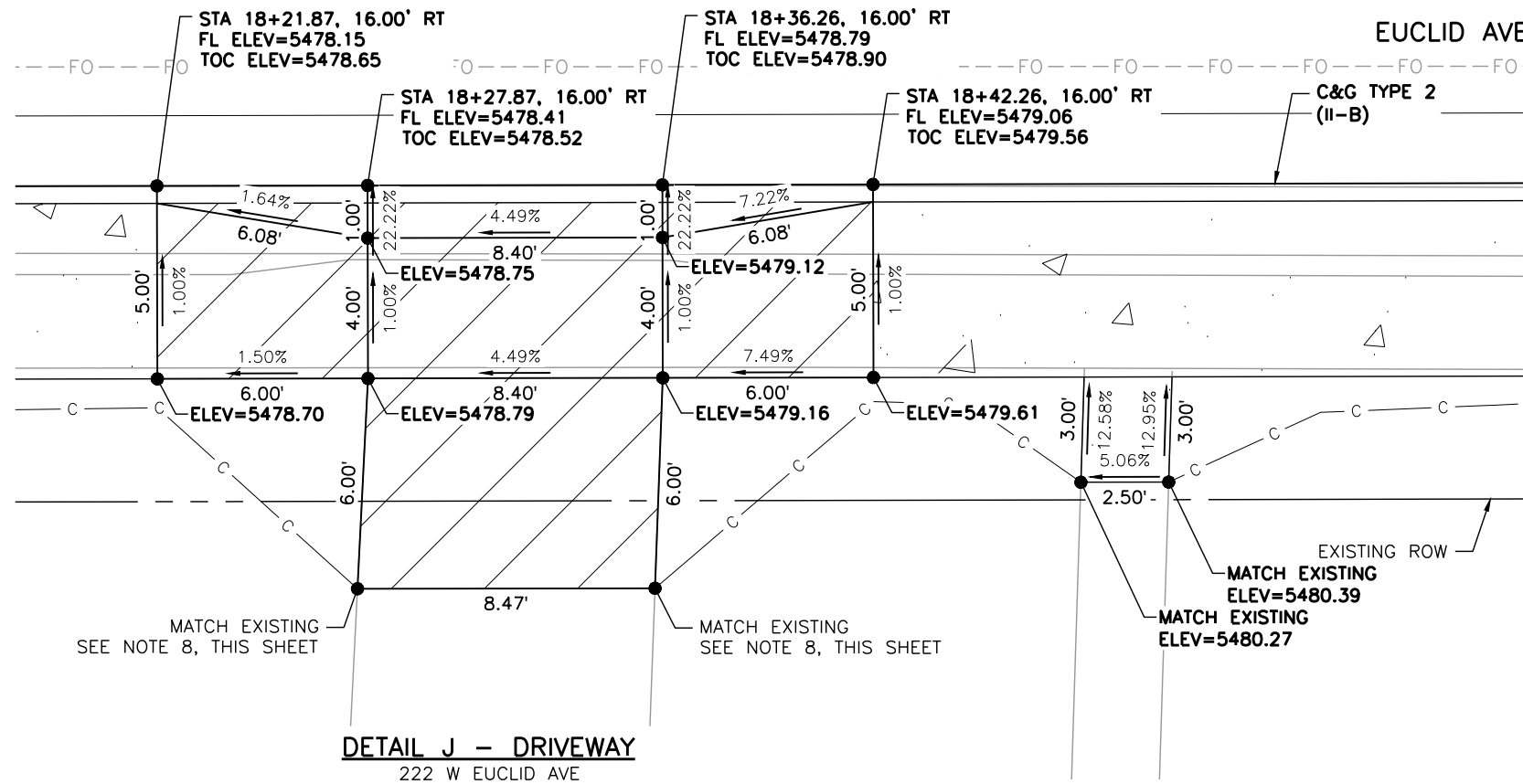
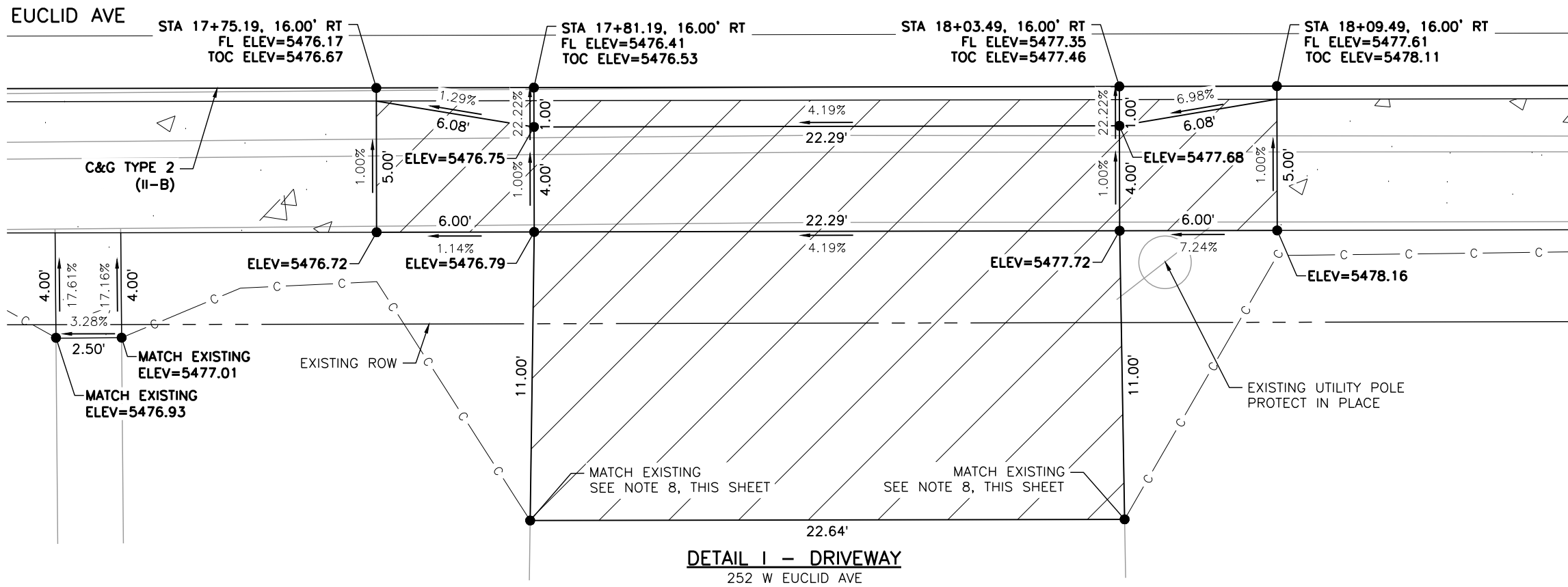
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Detailer:	LML		
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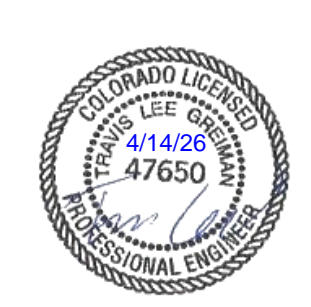
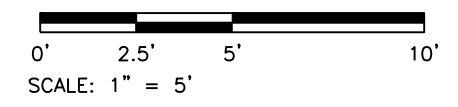
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Sheet Number: 33 of 73

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- LEGEND:**
- HOT MIX ASPHALT (PATCHING)
 - CONCRETE PAVEMENT (6 INCH)
 - CONCRETE PAVEMENT (10 INCH)
 - CONCRETE PAVEMENT (SPECIAL)
 - CONCRETE SIDEWALK (6 INCH)
 - DETECTABLE WARNING SURFACE (2 FEET MIN.)
 - SC — SAWCUT LIMITS
 - F — TOE OF FILL — C — TOP OF CUT

- NOTES:**
1. ALL STATION, OFFSET CALLOUTS REFERENCE THE EUCLID AVE HCL AND ARE TO THE FLOWLINE.
 2. LINE AND CURVE DIMENSIONS AND PROPOSED SLOW ARROWS (POINTING TOWARDS THE LOW POINT) ARE APPROXIMATE AND ARE PROVIDED FOR REFERENCE.
 3. TIE-IN LOCATIONS ARE APPROXIMATE. TIE-IN LOCATIONS SHALL BE TO THE NEAREST EXISTING JOINT.
 4. EXPANSION MATERIAL SHALL BE PLACED BETWEEN THE SIDEWALK AND BACK OF CURB AND AROUND FIXED OBJECTS. EXPANSION MATERIAL SHALL BE INCLUDED IN THE COST OF THE SIDEWALK.
 5. THE CONTRACTOR SHALL WORK WITH THE ENGINEER TO VERIFY THE INFORMATION SHOWN OR SHALL MODIFY AND FIELD-FIT THE DESIGN AS NECESSARY.
 6. FL=FLOWLINE
 7. TOC=TOP OF CURB
 8. EXISTING TOPOGRAPHIC SURVEY ENDS PRIOR TO THE PROPOSED TIE-IN LOCATION. LINE DIMENSIONS ARE APPROXIMATE AND ARE PROVIDED FOR REFERENCE.



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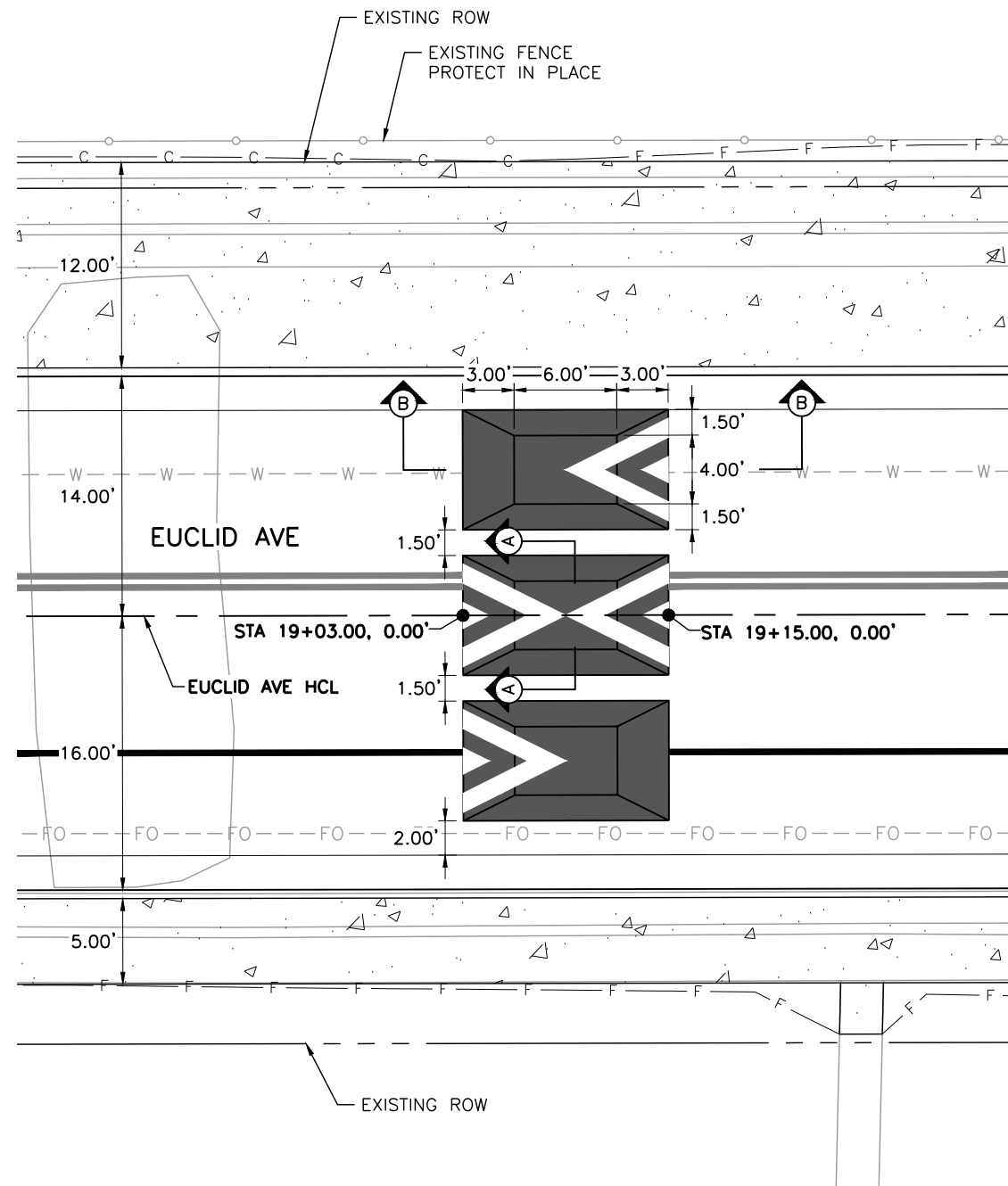
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 2255 W Berry Avenue
 Littleton, Colorado 80120

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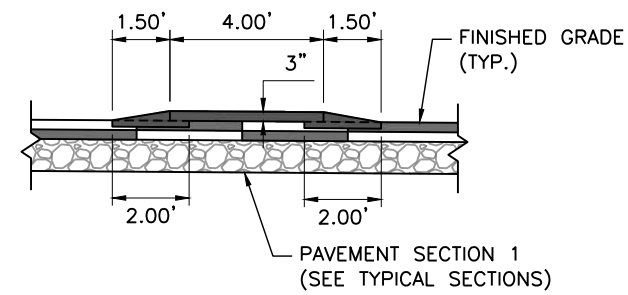
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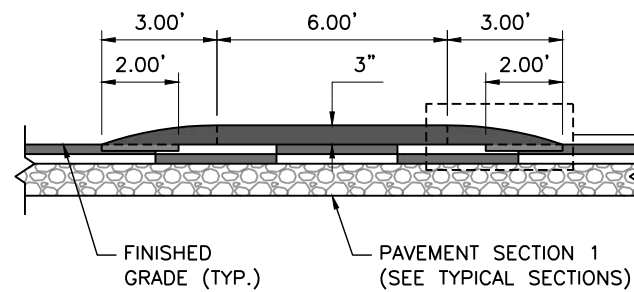
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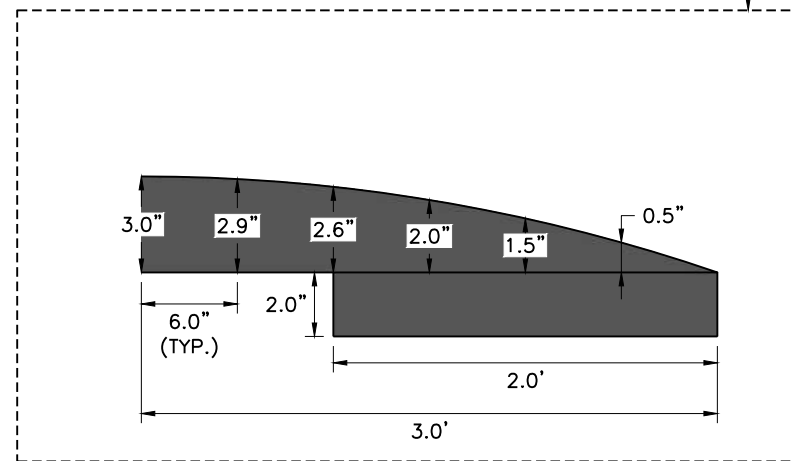
DETAIL K - SPEED CUSHIONS
WEST OF ACOMA ST NORTH



SECTION A-A
NOT TO SCALE



SECTION B-B
NOT TO SCALE

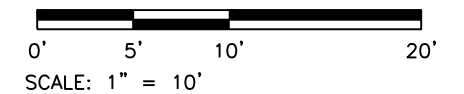


LEGEND:

- HOT MIX ASPHALT
- CONCRETE SIDEWALK (6 INCH)
- F — TOE OF FILL — C — TOP OF CUT

NOTES:

1. ALL STATION, OFFSET CALLOUTS REFERENCE THE EUCLID AVE HCL AND ARE TO THE FLOWLINE.
2. THE CONTRACTOR SHALL WORK WITH THE ENGINEER TO VERIFY THE INFORMATION SHOWN OR SHALL MODIFY AND FIELD-FIT THE DESIGN AS NECESSARY.



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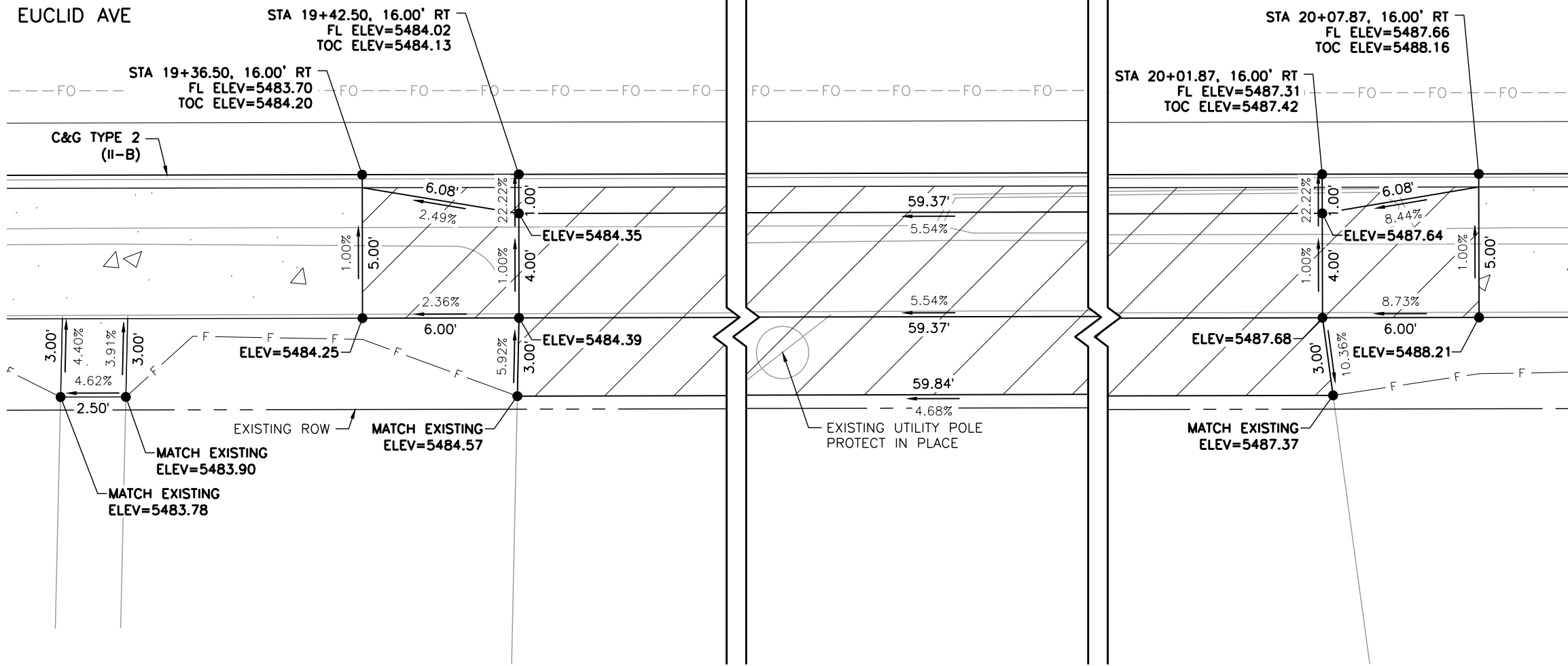
Littleton
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 Public Works & Engineering
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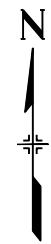
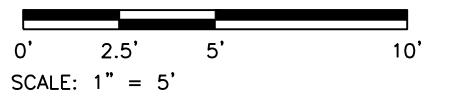
DETAIL L - DRIVEWAY
220 W EUCLID AVE

LEGEND:

- HOT MIX ASPHALT (PATCHING)
- CONCRETE PAVEMENT (6 INCH)
- CONCRETE PAVEMENT (10 INCH)
- CONCRETE PAVEMENT (SPECIAL)
- CONCRETE SIDEWALK (6 INCH)
- DETECTABLE WARNING SURFACE (2 FEET MIN.)
- SC — SAWCUT LIMITS
- F — TOE OF FILL — C — TOP OF CUT

NOTES:

1. ALL STATION, OFFSET CALLOUTS REFERENCE THE EUCLID AVE HCL AND ARE TO THE FLOWLINE.
2. LINE AND CURVE DIMENSIONS AND PROPOSED SLOW ARROWS (POINTING TOWARDS THE LOW POINT) ARE APPROXIMATE AND ARE PROVIDED FOR REFERENCE.
3. TIE-IN LOCATIONS ARE APPROXIMATE. TIE-IN LOCATIONS SHALL BE TO THE NEAREST EXISTING JOINT.
4. EXPANSION MATERIAL SHALL BE PLACED BETWEEN THE SIDEWALK AND BACK OF CURB AND AROUND FIXED OBJECTS. EXPANSION MATERIAL SHALL BE INCLUDED IN THE COST OF THE SIDEWALK.
5. THE CONTRACTOR SHALL WORK WITH THE ENGINEER TO VERIFY THE INFORMATION SHOWN OR SHALL MODIFY AND FIELD-FIT THE DESIGN AS NECESSARY.
6. FL=FLOWLINE
7. TOC=TOP OF CURB



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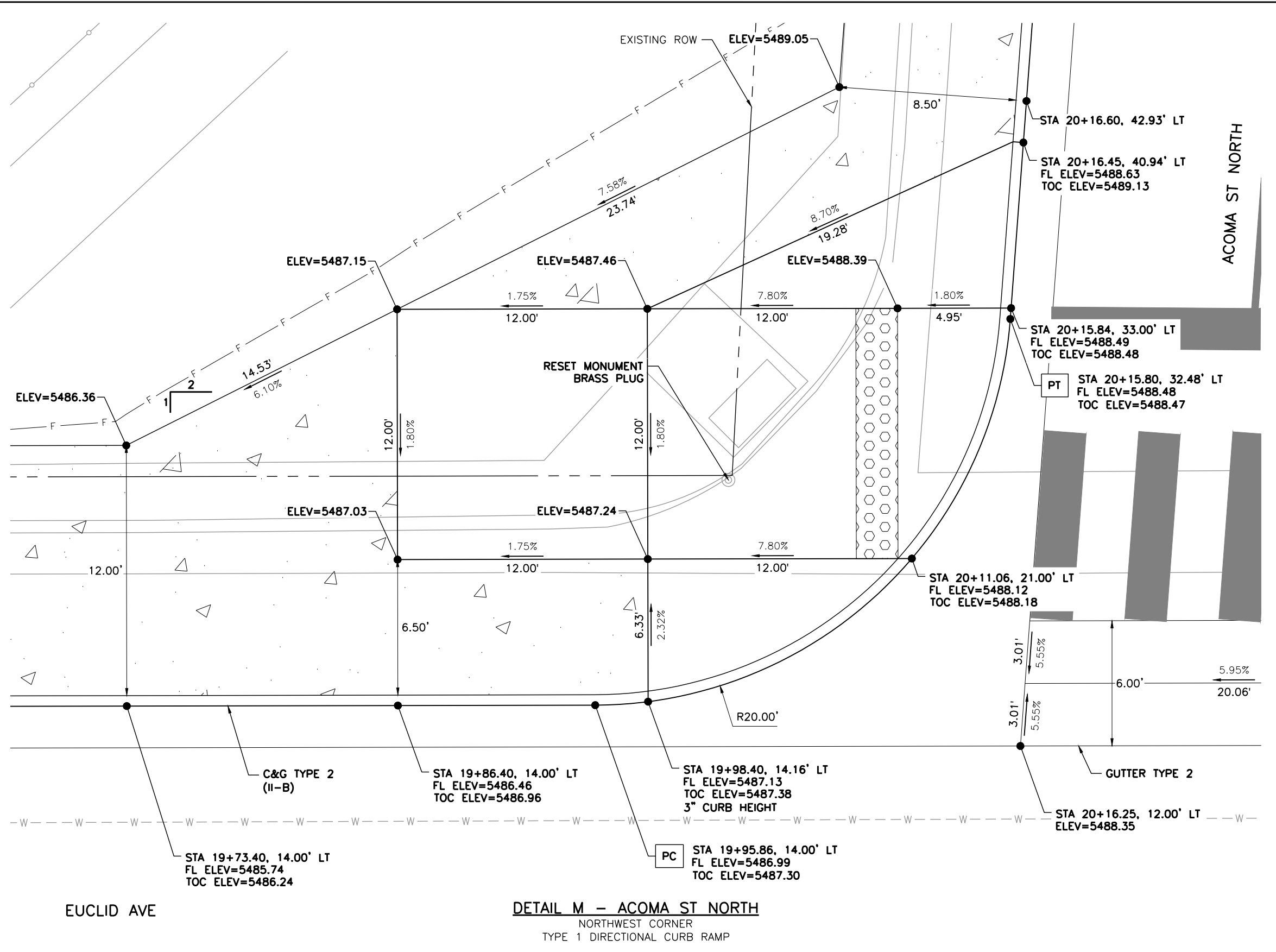
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 Littleton, Colorado 80120

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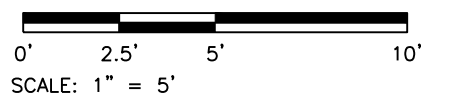
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- LEGEND:**
- HOT MIX ASPHALT (PATCHING)
 - CONCRETE PAVEMENT (6 INCH)
 - CONCRETE PAVEMENT (10 INCH)
 - CONCRETE PAVEMENT (SPECIAL)
 - CONCRETE SIDEWALK (6 INCH)
 - DETECTABLE WARNING SURFACE (2 FEET MIN.)
 - SC — SAWCUT LIMITS
 - F — TOE OF FILL — C — TOP OF CUT

- NOTES:**
1. ALL STATION, OFFSET CALLOUTS REFERENCE THE EUCLID AVE HCL AND ARE TO THE FLOWLINE.
 2. LINE AND CURVE DIMENSIONS AND PROPOSED SLOW ARROWS (POINTING TOWARDS THE LOW POINT) ARE APPROXIMATE AND ARE PROVIDED FOR REFERENCE.
 3. TIE-IN LOCATIONS ARE APPROXIMATE. TIE-IN LOCATIONS SHALL BE TO THE NEAREST EXISTING JOINT.
 4. EXPANSION MATERIAL SHALL BE PLACED BETWEEN THE SIDEWALK AND BACK OF CURB AND AROUND FIXED OBJECTS. EXPANSION MATERIAL SHALL BE INCLUDED IN THE COST OF THE SIDEWALK.
 5. CURB RAMP CONSTRUCTION SHALL CONFORM TO THE GRADE, WIDTH, AND LENGTH REQUIREMENTS AS SHOWN IN CDOT STD PLAN NO. M-608-1. WHERE FIELD CONDITIONS PREVENT A FULLY COMPLIANT FACILITY, THE CONTRACTOR SHALL WORK WITH THE ENGINEER TO VERIFY THE FIELD CONSTRAINTS, DOCUMENT THAT THE FACILITY WILL BE BUILT TO BE COMPLIANT TO THE MAXIMUM EXTENT FEASIBLE, AND DOCUMENT AND EXCEPTION TO BE FILED WITH THE CITY.
 6. FL=FLOWLINE 7. TOC=TOP OF CURB



DETAIL M - ACOMA ST NORTH
NORTHWEST CORNER
TYPE 1 DIRECTIONAL CURB RAMP

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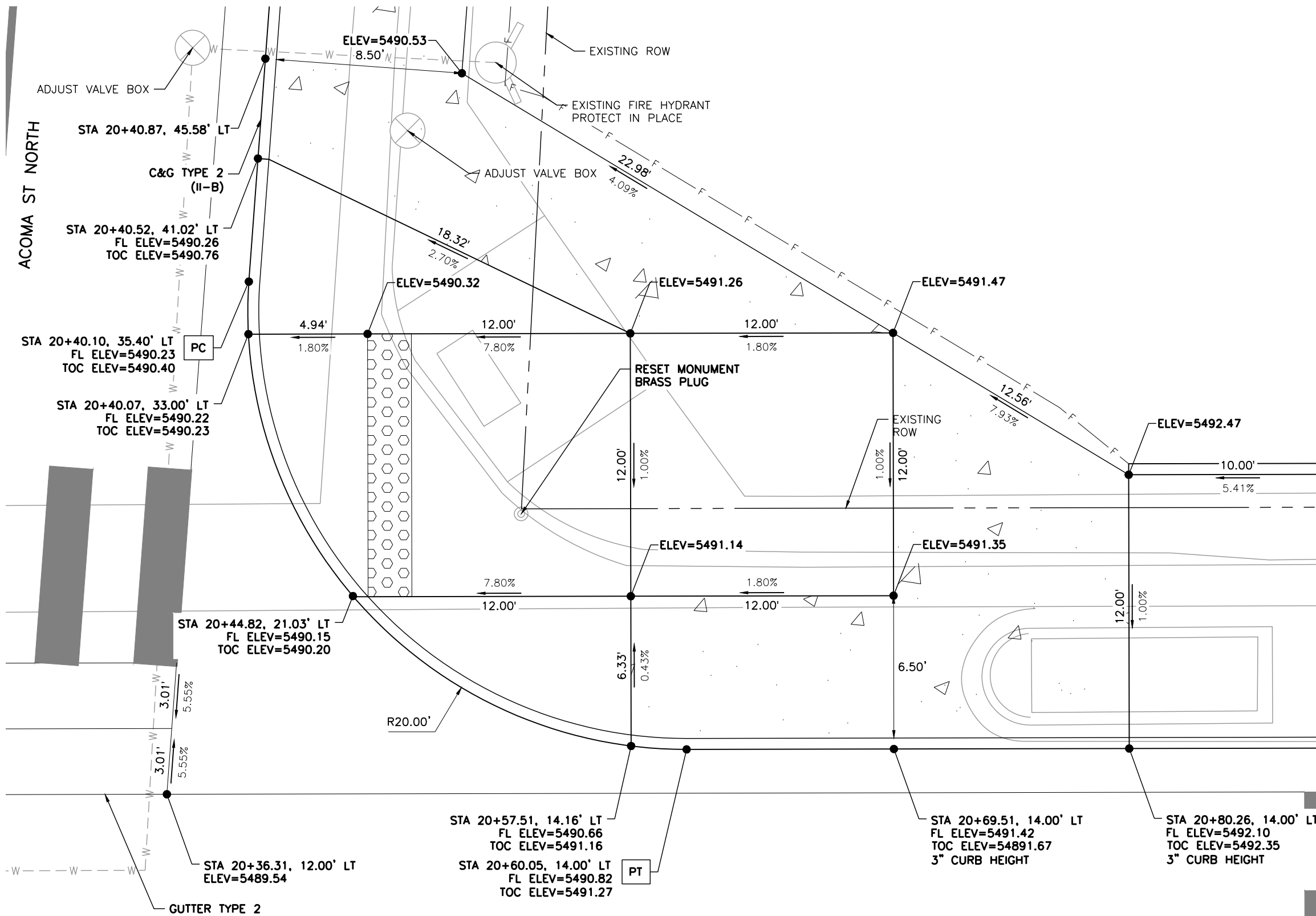
Public Works & Engineering
 2255 W Berry Avenue
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ROADWAY DETAILS			
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Detailer:	LML		
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Project No.
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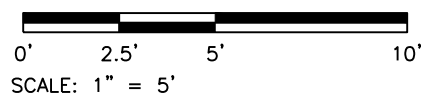


LEGEND:

- HOT MIX ASPHALT (PATCHING)
- CONCRETE PAVEMENT (6 INCH)
- CONCRETE PAVEMENT (10 INCH)
- CONCRETE PAVEMENT (SPECIAL)
- CONCRETE SIDEWALK (6 INCH)
- DETECTABLE WARNING SURFACE (2 FEET MIN.)
- SC — SAWCUT LIMITS
- F — TOE OF FILL — C — TOP OF CUT

NOTES:

1. ALL STATION, OFFSET CALLOUTS REFERENCE THE EUCLID AVE HCL AND ARE TO THE FLOWLINE.
2. LINE AND CURVE DIMENSIONS AND PROPOSED SLOW ARROWS (POINTING TOWARDS THE LOW POINT) ARE APPROXIMATE AND ARE PROVIDED FOR REFERENCE.
3. TIE-IN LOCATIONS ARE APPROXIMATE. TIE-IN LOCATIONS SHALL BE TO THE NEAREST EXISTING JOINT.
4. EXPANSION MATERIAL SHALL BE PLACED BETWEEN THE SIDEWALK AND BACK OF CURB AND AROUND FIXED OBJECTS. EXPANSION MATERIAL SHALL BE INCLUDED IN THE COST OF THE SIDEWALK.
5. CURB RAMP CONSTRUCTION SHALL CONFORM TO THE GRADE, WIDTH, AND LENGTH REQUIREMENTS AS SHOWN IN CDOT STD PLAN NO. M-608-1. WHERE FIELD CONDITIONS PREVENT A FULLY COMPLIANT FACILITY, THE CONTRACTOR SHALL WORK WITH THE ENGINEER TO VERIFY THE FIELD CONSTRAINTS, DOCUMENT THAT THE FACILITY WILL BE BUILT TO BE COMPLIANT TO THE MAXIMUM EXTENT FEASIBLE, AND DOCUMENT AND EXCEPTION TO BE FILED WITH THE CITY.
6. FL=FLOWLINE 7. TOC=TOP OF CURB



DETAIL N - ACOMA ST NORTH
NORTHEAST CORNER
TYPE 1 DIRECTIONAL CURB RAMP

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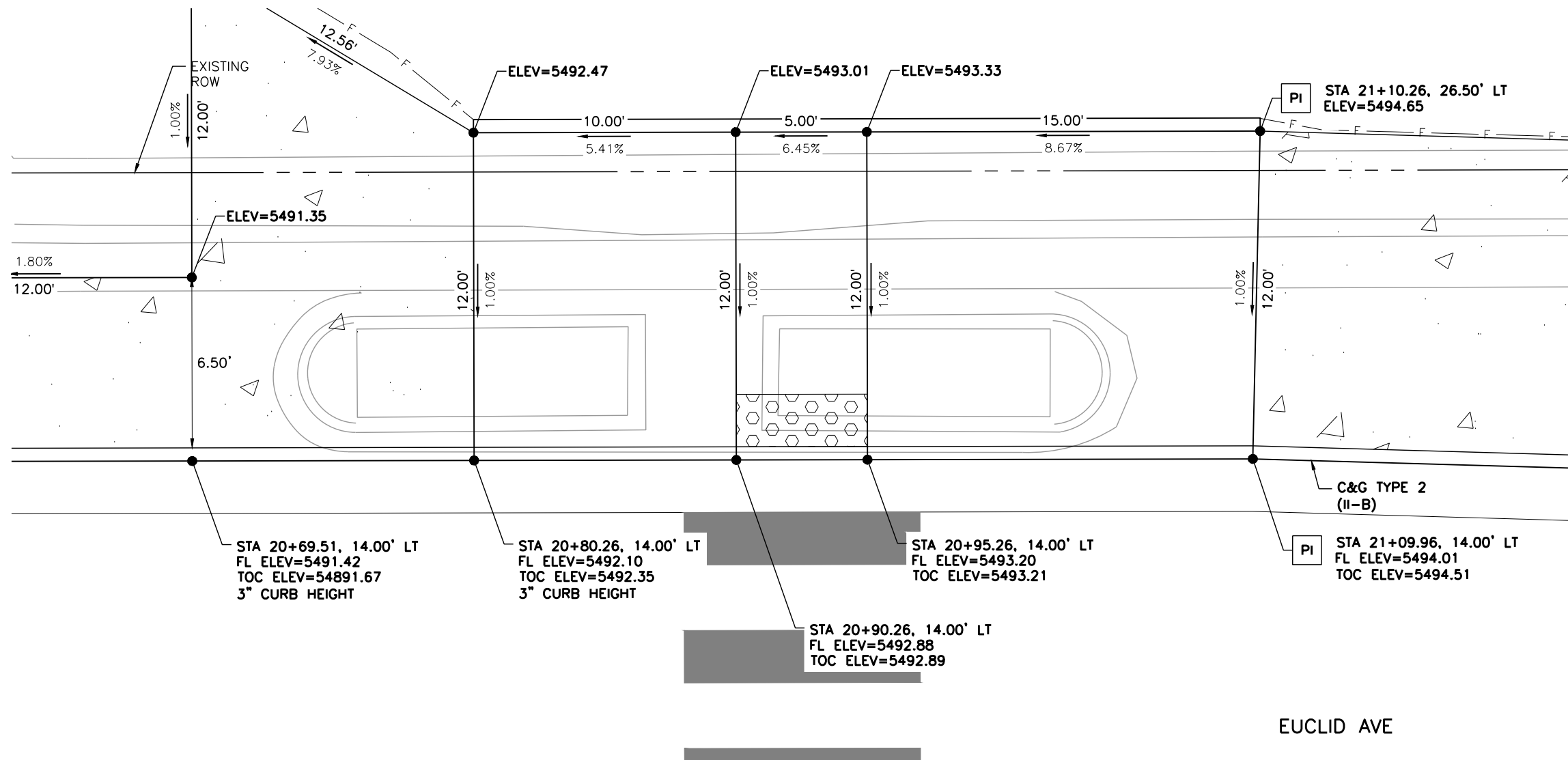
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26-07
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DETAIL 0 - EUCLID AVE
 MIDBLOCK CROSSING
 TYPE 2 PARALLEL RAMP

LEGEND:

- HOT MIX ASPHALT (PATCHING)
- CONCRETE PAVEMENT (6 INCH)
- CONCRETE PAVEMENT (10 INCH)
- CONCRETE PAVEMENT (SPECIAL)
- CONCRETE SIDEWALK (6 INCH)
- DETECTABLE WARNING SURFACE (2 FEET MIN.)
- SC — SAWCUT LIMITS
- F — TOE OF FILL — C — TOP OF CUT

NOTES:

1. ALL STATION, OFFSET CALLOUTS REFERENCE THE EUCLID AVE HCL AND ARE TO THE FLOWLINE.
2. LINE AND CURVE DIMENSIONS AND PROPOSED SLOW ARROWS (POINTING TOWARDS THE LOW POINT) ARE APPROXIMATE AND ARE PROVIDED FOR REFERENCE.
3. TIE-IN LOCATIONS ARE APPROXIMATE. TIE-IN LOCATIONS SHALL BE TO THE NEAREST EXISTING JOINT.
4. EXPANSION MATERIAL SHALL BE PLACED BETWEEN THE SIDEWALK AND BACK OF CURB AND AROUND FIXED OBJECTS. EXPANSION MATERIAL SHALL BE INCLUDED IN THE COST OF THE SIDEWALK.
5. CURB RAMP CONSTRUCTION SHALL CONFORM TO THE GRADE, WIDTH, AND LENGTH REQUIREMENTS AS SHOWN IN CDOT STD PLAN NO. M-608-1. WHERE FIELD CONDITIONS PREVENT A FULLY COMPLIANT FACILITY, THE CONTRACTOR SHALL WORK WITH THE ENGINEER TO VERIFY THE FIELD CONSTRAINTS, DOCUMENT THAT THE FACILITY WILL BE BUILT TO BE COMPLIANT TO THE MAXIMUM EXTENT FEASIBLE, AND DOCUMENT AND EXCEPTION TO BE FILED WITH THE CITY.
6. FL=FLOWLINE 7. TOC=TOP OF CURB



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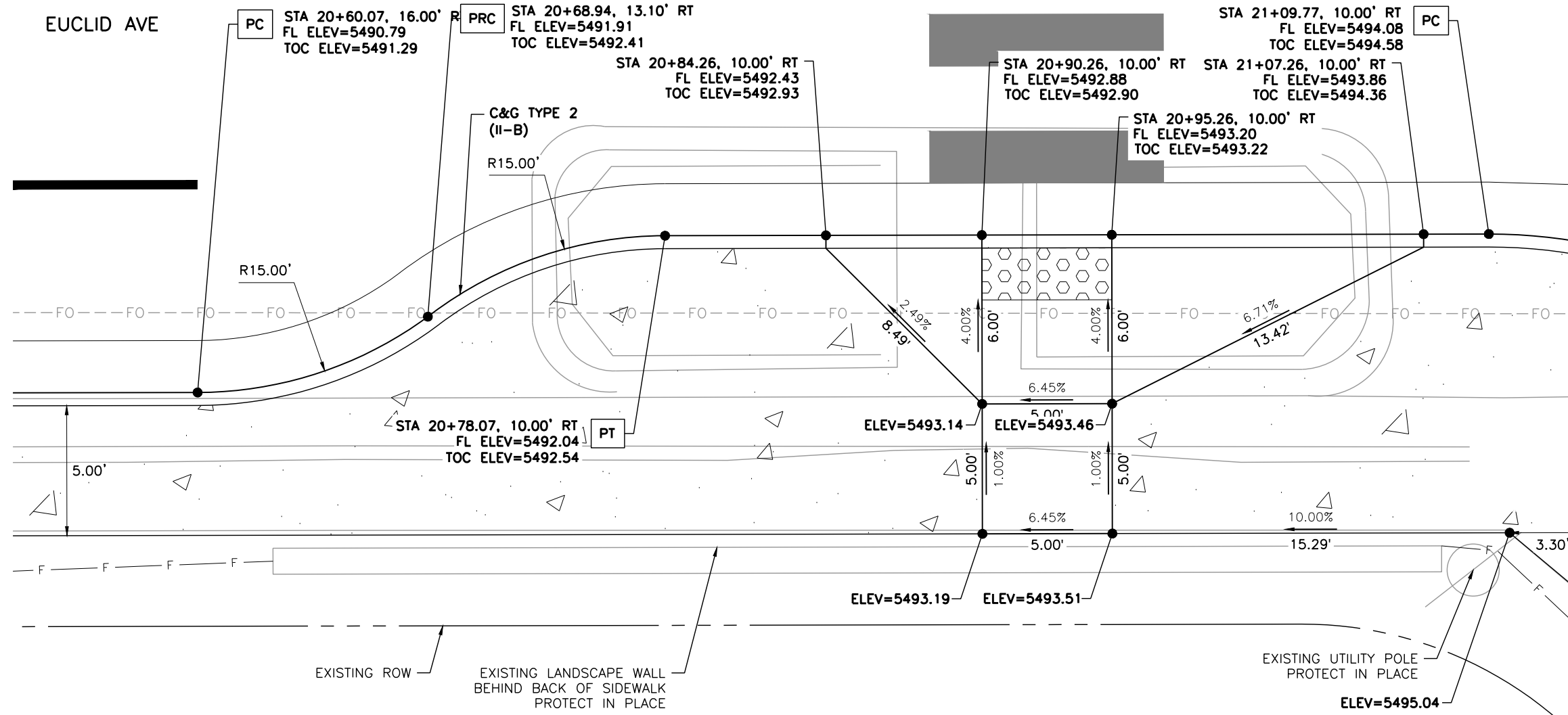
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No. Revisions:
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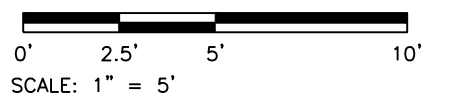
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- LEGEND:**
- HOT MIX ASPHALT (PATCHING)
 - CONCRETE PAVEMENT (6 INCH)
 - CONCRETE PAVEMENT (10 INCH)
 - CONCRETE PAVEMENT (SPECIAL)
 - CONCRETE SIDEWALK (6 INCH)
 - DETECTABLE WARNING SURFACE (2 FEET MIN.)
 - SC — SAWCUT LIMITS
 - F — TOE OF FILL — C — TOP OF CUT

- NOTES:**
1. ALL STATION, OFFSET CALLOUTS REFERENCE THE EUCLID AVE HCL AND ARE TO THE FLOWLINE.
 2. LINE AND CURVE DIMENSIONS AND PROPOSED SLOW ARROWS (POINTING TOWARDS THE LOW POINT) ARE APPROXIMATE AND ARE PROVIDED FOR REFERENCE.
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 6. FL=FLOWLINE 7. TOC=TOP OF CURB



DETAIL P – EUCLID AVE
 MIDBLOCK CROSSING
 TYPE 2 PARALLEL RAMP

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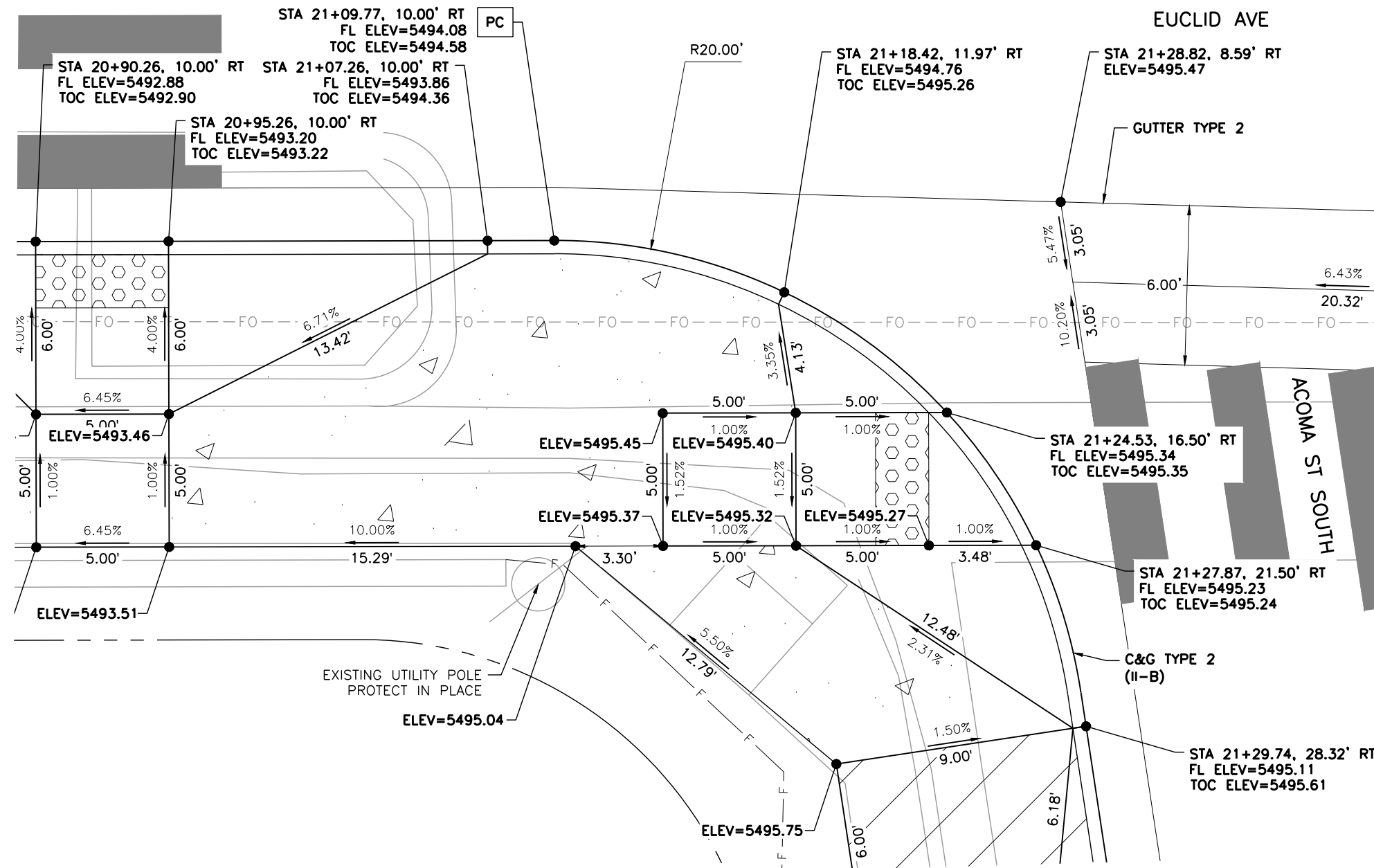
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No. Revisions:
Revised:
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Detailer:	LML		
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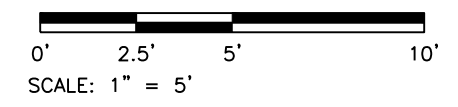
DETAIL Q - ACOMA ST SOUTH
SOUTHWEST CORNER
TYPE 1 PERPENDICULAR RAMP

LEGEND:

- HOT MIX ASPHALT (PATCHING)
- CONCRETE PAVEMENT (6 INCH)
- CONCRETE PAVEMENT (10 INCH)
- CONCRETE PAVEMENT (SPECIAL)
- CONCRETE SIDEWALK (6 INCH)
- DETECTABLE WARNING SURFACE (2 FEET MIN.)
- SC — SAWCUT LIMITS
- F — TOE OF FILL — C — TOP OF CUT

NOTES:

1. ALL STATION, OFFSET CALLOUTS REFERENCE THE EUCLID AVE HCL AND ARE TO THE FLOWLINE.
2. LINE AND CURVE DIMENSIONS AND PROPOSED SLOW ARROWS (POINTING TOWARDS THE LOW POINT) ARE APPROXIMATE AND ARE PROVIDED FOR REFERENCE.
3. TIE-IN LOCATIONS ARE APPROXIMATE. TIE-IN LOCATIONS SHALL BE TO THE NEAREST EXISTING JOINT.
4. EXPANSION MATERIAL SHALL BE PLACED BETWEEN THE SIDEWALK AND BACK OF CURB AND AROUND FIXED OBJECTS. EXPANSION MATERIAL SHALL BE INCLUDED IN THE COST OF THE SIDEWALK.
5. CURB RAMP CONSTRUCTION SHALL CONFORM TO THE GRADE, WIDTH, AND LENGTH REQUIREMENTS AS SHOWN IN CDOT STD PLAN NO. M-608-1. WHERE FIELD CONDITIONS PREVENT A FULLY COMPLIANT FACILITY, THE CONTRACTOR SHALL WORK WITH THE ENGINEER TO VERIFY THE FIELD CONSTRAINTS, DOCUMENT THAT THE FACILITY WILL BE BUILT TO BE COMPLIANT TO THE MAXIMUM EXTENT FEASIBLE, AND DOCUMENT AND EXCEPTION TO BE FILED WITH THE CITY.
6. FL=FLOWLINE 7. TOC=TOP OF CURB



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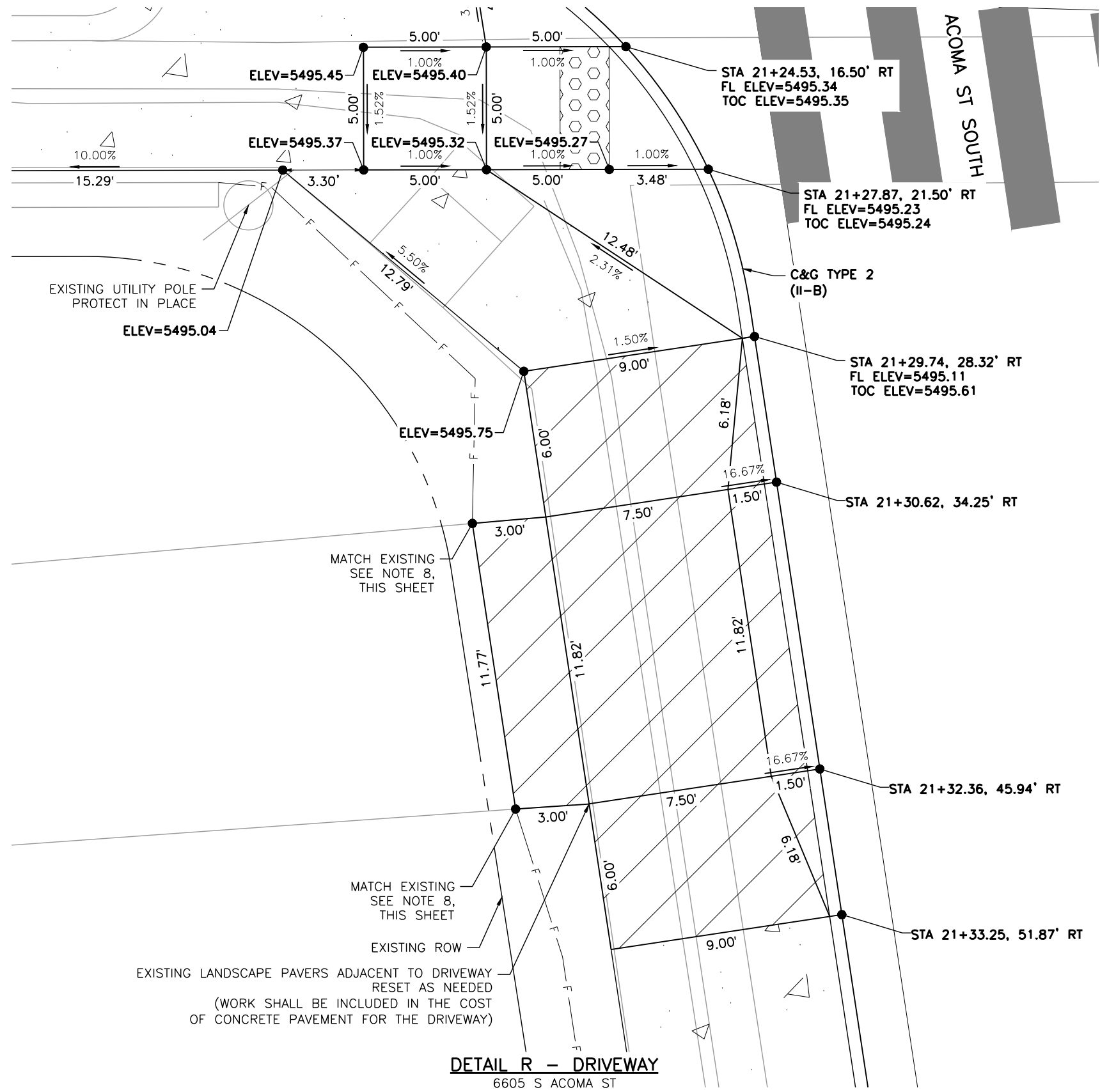
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ROADWAY DETAILS			
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Detailer:	LML		
Sheet Subset:	RDWAY DTLs	Subset Sheet Number:	15 of 25

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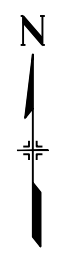
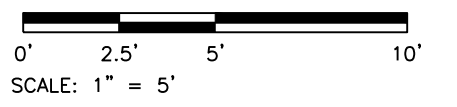
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- HOT MIX ASPHALT (PATCHING)
- CONCRETE PAVEMENT (6 INCH)
- CONCRETE PAVEMENT (10 INCH)
- CONCRETE PAVEMENT (SPECIAL)
- CONCRETE SIDEWALK (6 INCH)
- DETECTABLE WARNING SURFACE (2 FEET MIN.)
- SC — SAWCUT LIMITS
- F — TOE OF FILL — C — TOP OF CUT

NOTES:

1. ALL STATION, OFFSET CALLOUTS REFERENCE THE EUCLID AVE HCL AND ARE TO THE FLOWLINE.
2. LINE AND CURVE DIMENSIONS AND PROPOSED SLOW ARROWS (POINTING TOWARDS THE LOW POINT) ARE APPROXIMATE AND ARE PROVIDED FOR REFERENCE.
3. TIE-IN LOCATIONS ARE APPROXIMATE. TIE-IN LOCATIONS SHALL BE TO THE NEAREST EXISTING JOINT.
4. EXPANSION MATERIAL SHALL BE PLACED BETWEEN THE SIDEWALK AND BACK OF CURB AND AROUND FIXED OBJECTS. EXPANSION MATERIAL SHALL BE INCLUDED IN THE COST OF THE SIDEWALK.
5. THE CONTRACTOR SHALL WORK WITH THE ENGINEER TO VERIFY THE INFORMATION SHOWN OR SHALL MODIFY AND FIELD-FIT THE DESIGN AS NECESSARY.
6. FL=FLOWLINE
7. TOC=TOP OF CURB
8. EXISTING TOPOGRAPHIC SURVEY ENDS PRIOR TO THE PROPOSED TIE-IN LOCATION. LINE DIMENSIONS ARE APPROXIMATE AND ARE PROVIDED FOR REFERENCE.



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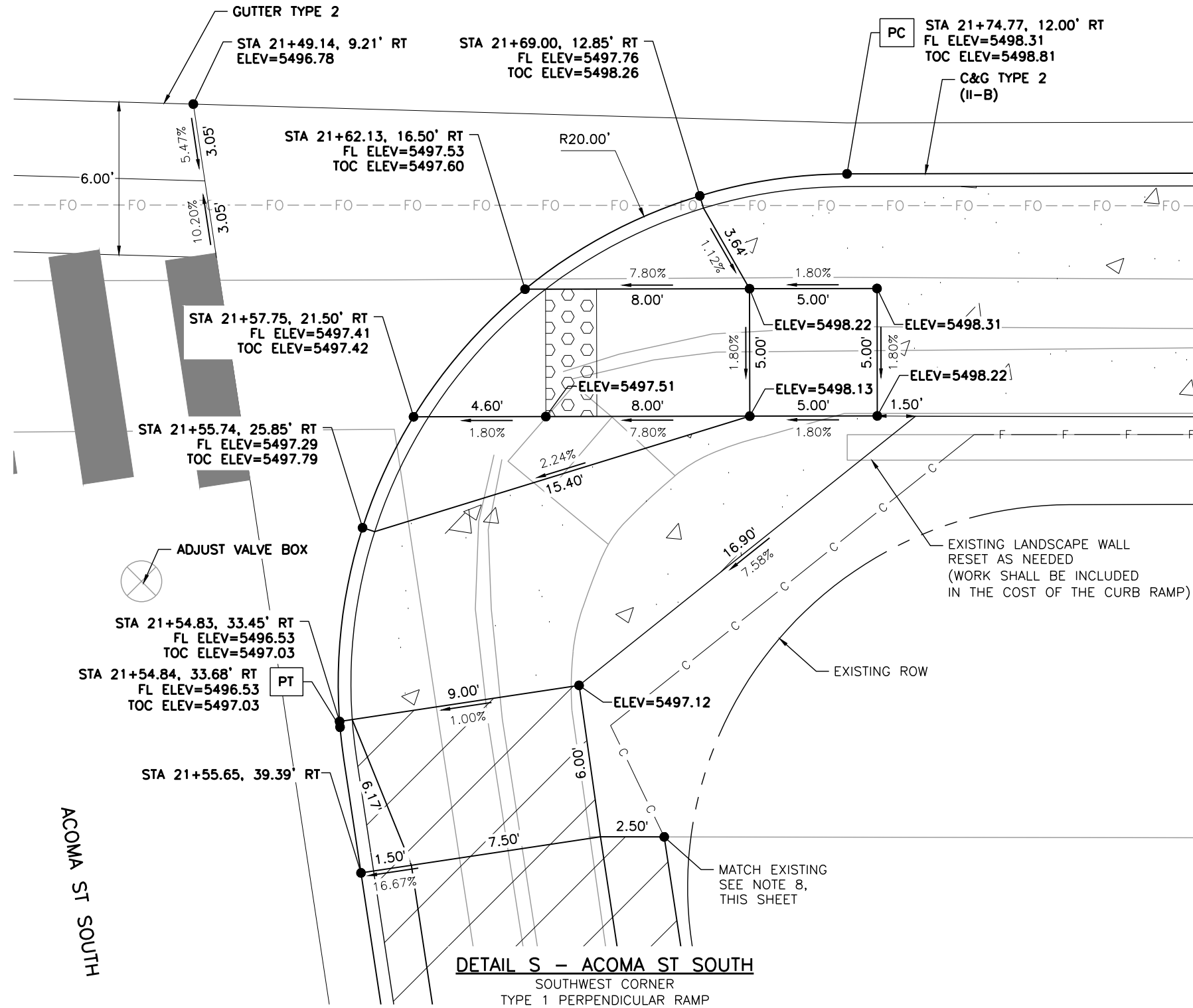
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Detailer:	LML		
Sheet Subset:	RDWY DTLs	Subset Sheet Number:	16 of 25

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EUCLID AVE



LEGEND:

- HOT MIX ASPHALT (PATCHING)
- CONCRETE PAVEMENT (6 INCH)
- CONCRETE PAVEMENT (10 INCH)
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- SC — SAWCUT LIMITS
- F — TOE OF FILL — C — TOP OF CUT

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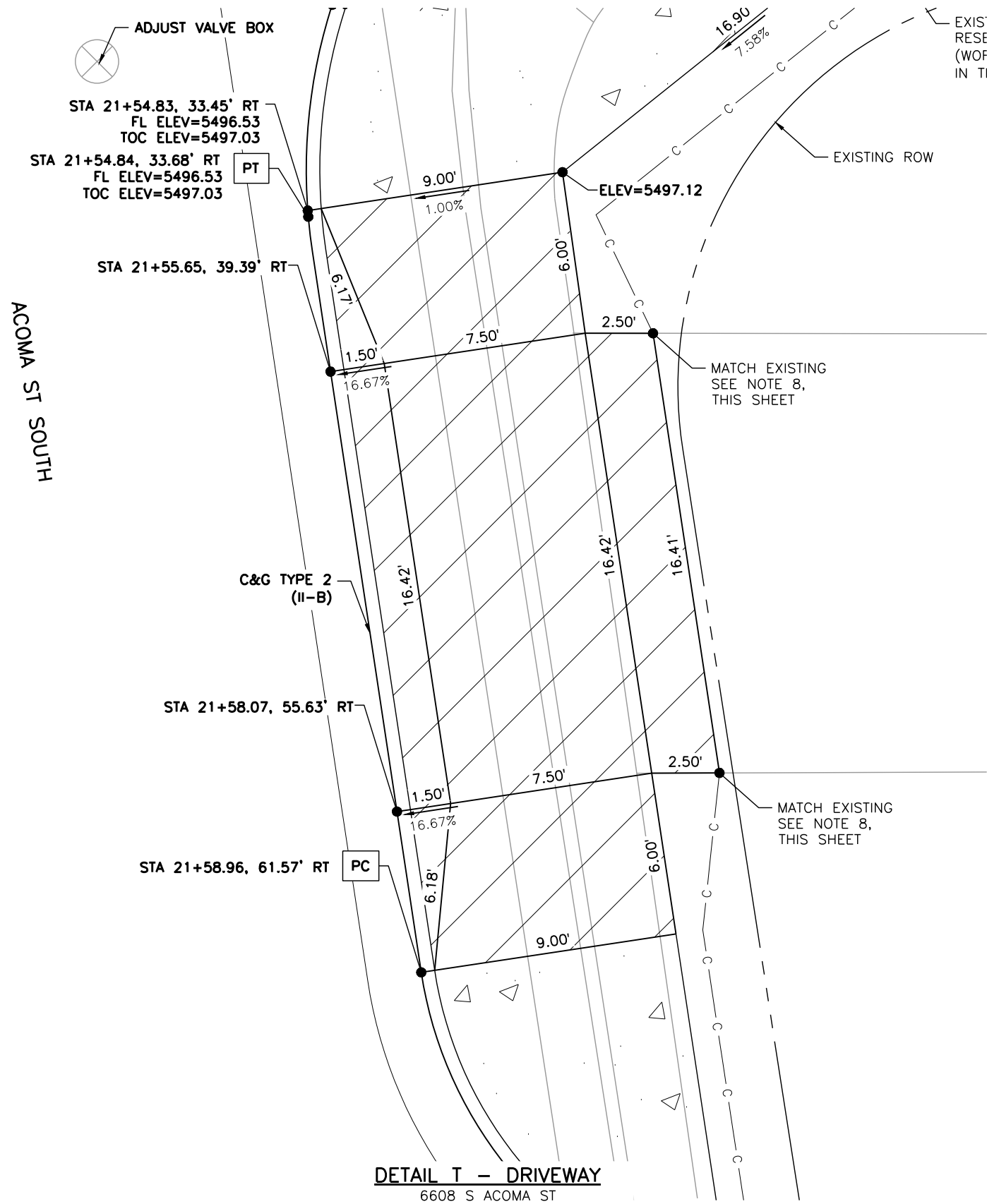
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ACOMA ST SOUTH

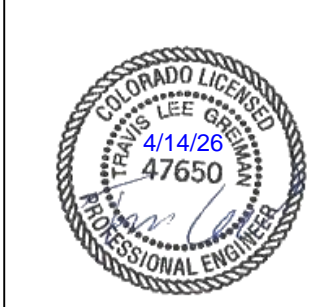
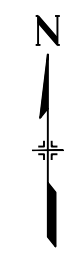
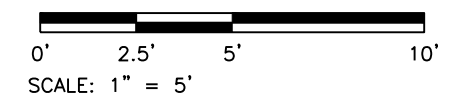


LEGEND:

- HOT MIX ASPHALT (PATCHING)
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- CONCRETE PAVEMENT (10 INCH)
- CONCRETE PAVEMENT (SPECIAL)
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5. THE CONTRACTOR SHALL WORK WITH THE ENGINEER TO VERIFY THE INFORMATION SHOWN OR SHALL MODIFY AND FIELD-FIT THE DESIGN AS NECESSARY.
6. FL=FLOWLINE
7. TOC=TOP OF CURB
8. EXISTING TOPOGRAPHIC SURVEY ENDS PRIOR TO THE PROPOSED TIE-IN LOCATION. LINE DIMENSIONS ARE APPROXIMATE AND ARE PROVIDED FOR REFERENCE.



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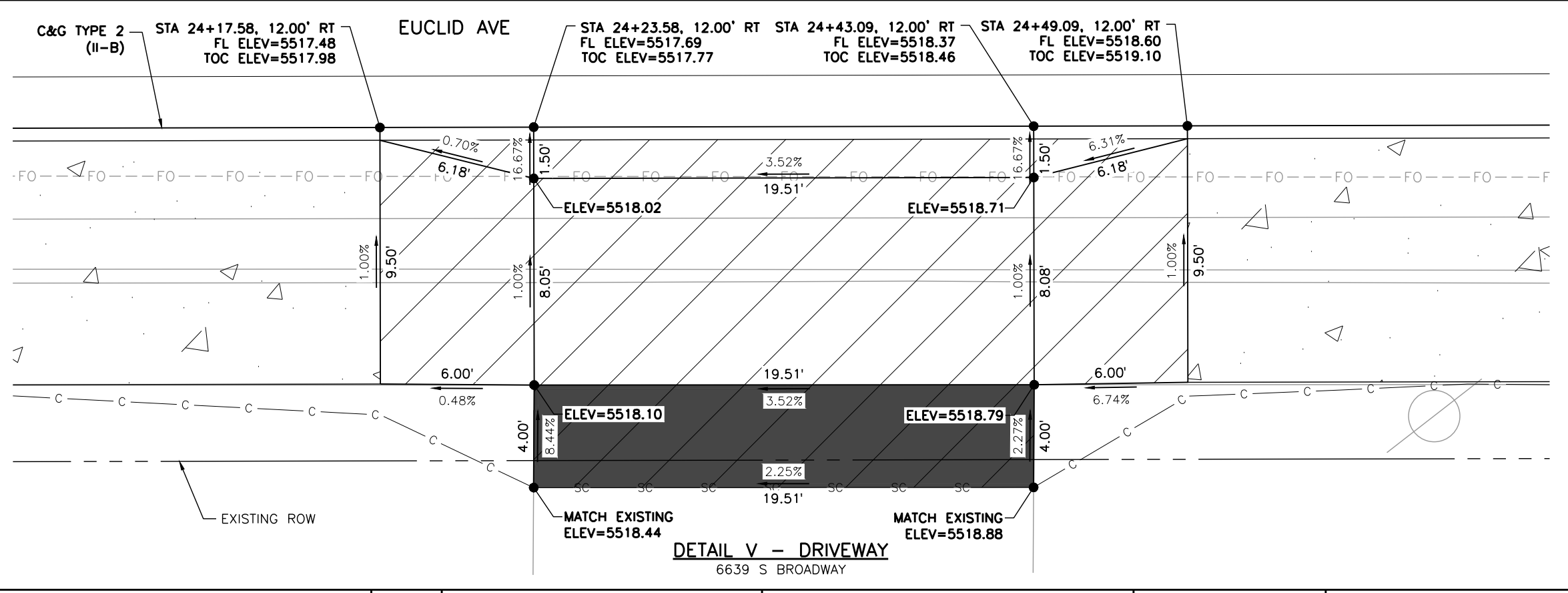
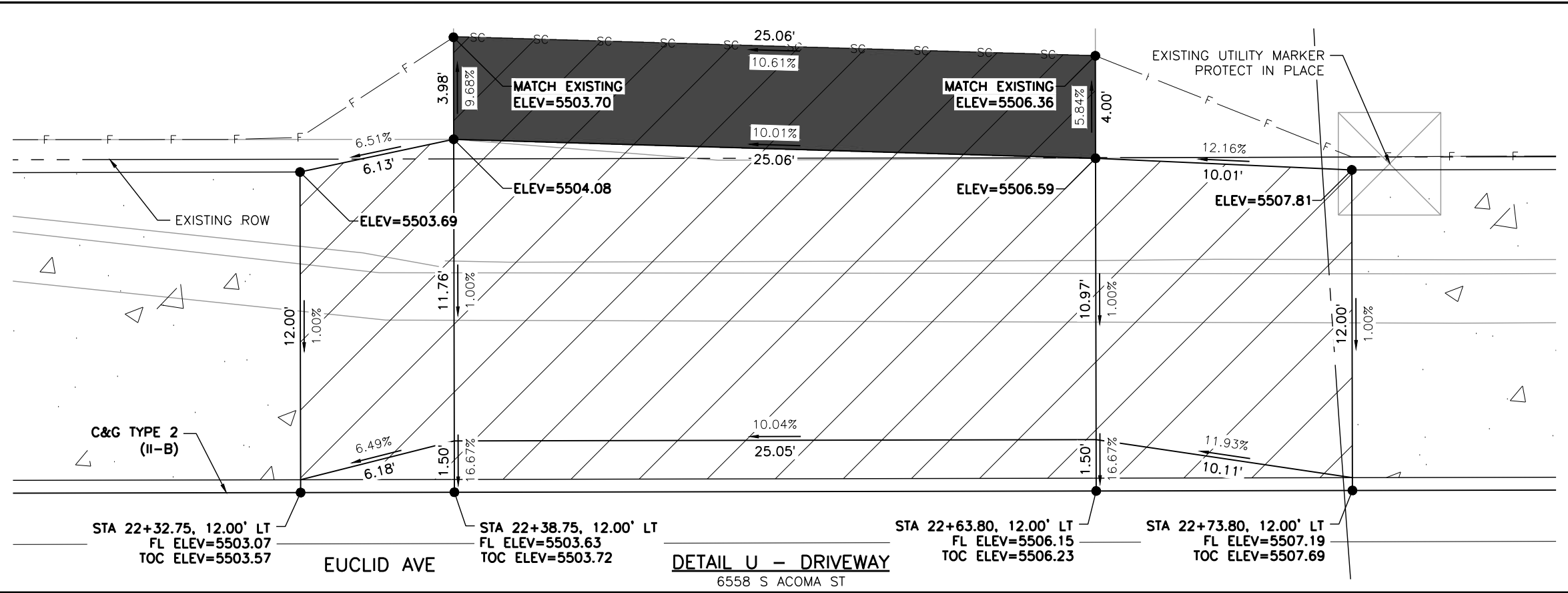
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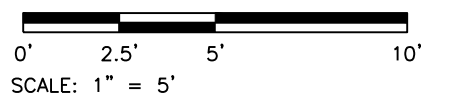


LEGEND:

- HOT MIX ASPHALT (PATCHING)
- CONCRETE PAVEMENT (6 INCH)
- CONCRETE PAVEMENT (10 INCH)
- CONCRETE PAVEMENT (SPECIAL)
- CONCRETE SIDEWALK (6 INCH)
- DETECTABLE WARNING SURFACE (2 FEET MIN.)
- SC — SAWCUT LIMITS
- F — TOE OF FILL
- C — TOP OF CUT

NOTES:

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5. THE CONTRACTOR SHALL WORK WITH THE ENGINEER TO VERIFY THE INFORMATION SHOWN OR SHALL MODIFY AND FIELD-FIT THE DESIGN AS NECESSARY.
6. FL=FLOWLINE
7. TOC=TOP OF CURB



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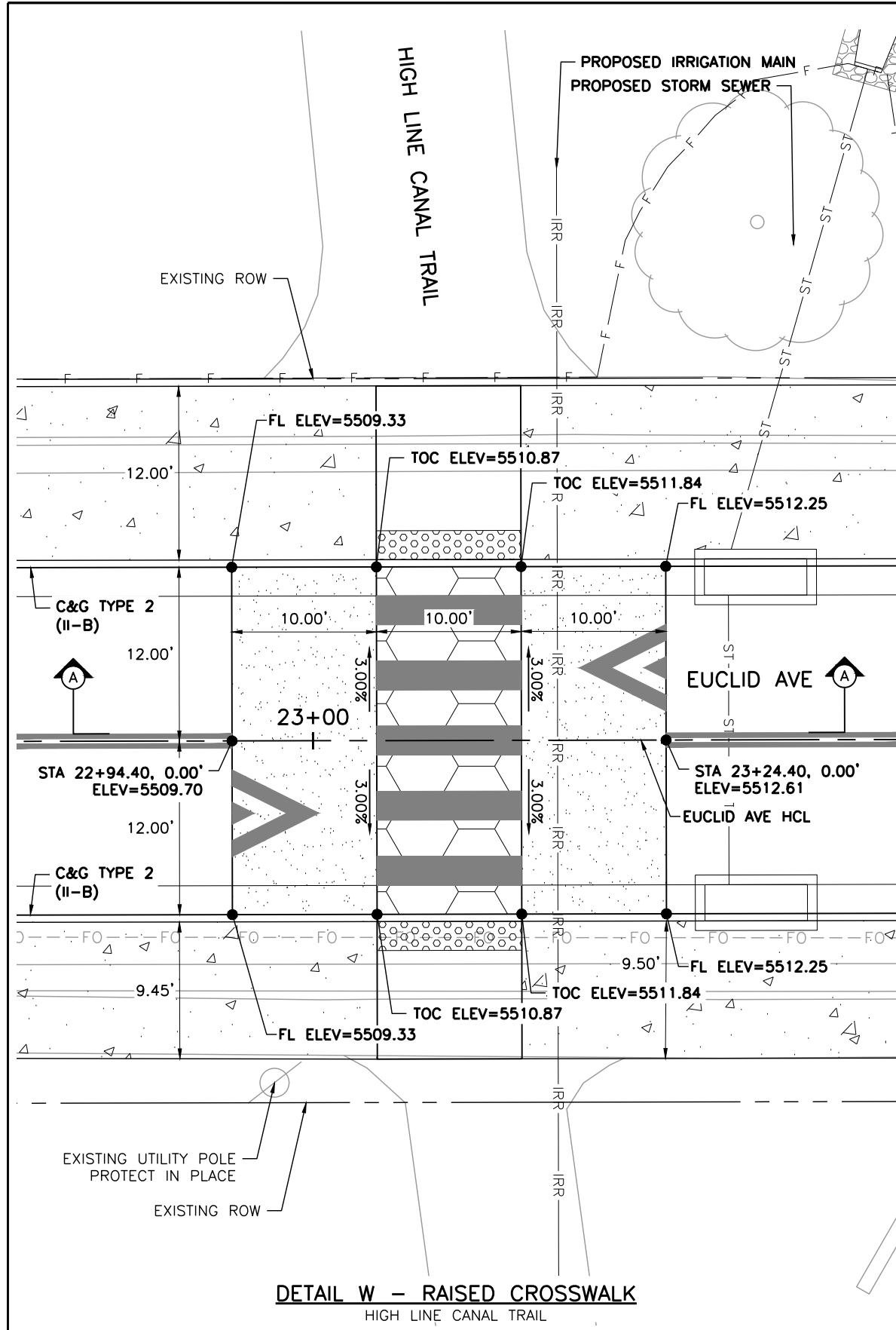
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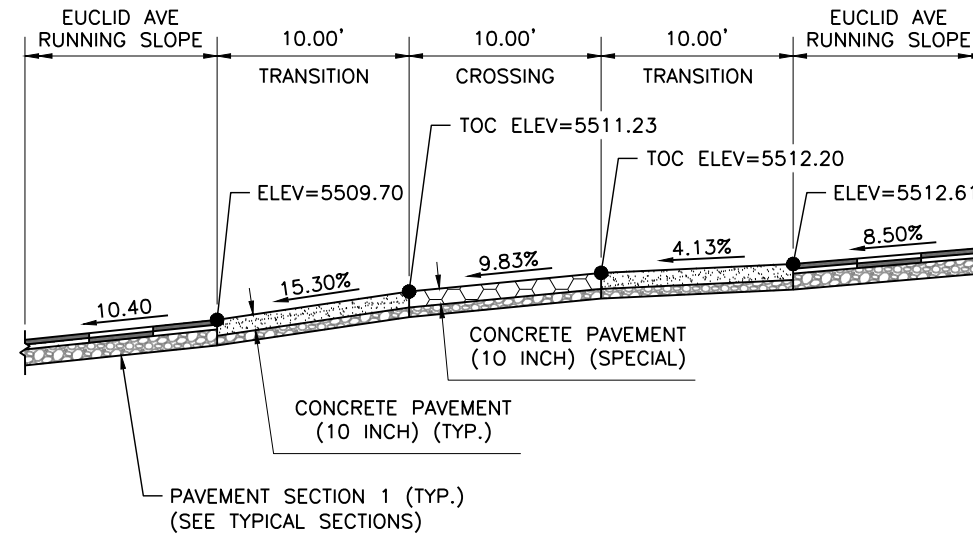
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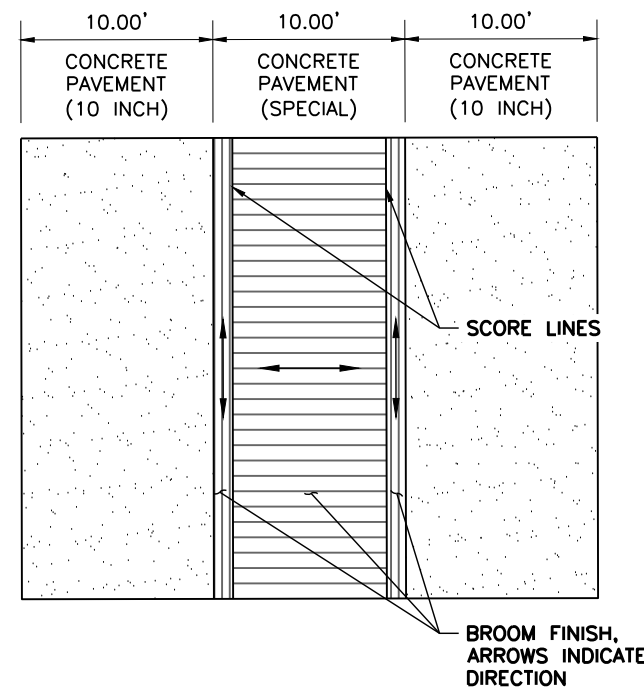
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DETAIL W - RAISED CROSSWALK
HIGH LINE CANAL TRAIL



SECTION A-A
RAISED CROSSWALK TYPICAL
NOT TO SCALE



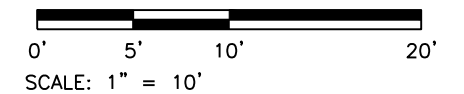
RAISED CROSSWALK FINISHING DETAIL
NOT TO SCALE

LEGEND:

- HOT MIX ASPHALT (PATCHING)
- CONCRETE PAVEMENT (6 INCH)
- CONCRETE PAVEMENT (10 INCH)
- CONCRETE PAVEMENT (SPECIAL)
- CONCRETE SIDEWALK (6 INCH)
- DETECTABLE WARNING SURFACE (2 FEET MIN.)
- SC — SAWCUT LIMITS
- F — TOE OF FILL — C — TOP OF CUT

NOTES:

1. ALL STATION, OFFSET CALLOUTS REFERENCE THE EUCLID AVE HCL AND ARE TO THE FLOWLINE OR TOP OF RAISED CROSSWALK.
2. THE CONTRACTOR SHALL WORK WITH THE ENGINEER TO VERIFY THE INFORMATION SHOWN OR SHALL MODIFY AND FIELD-FIT THE DESIGN AS NECESSARY.
3. CONCRETE PAVEMENT (SPECIAL) SHALL INCLUDE AN INTEGRAL COLOR ADMIXTURE, FEDERAL COLOR 20109 "RED BROWN".
4. PROPOSED SLOPES ARROWS ARE POINTING TOWARDS THE LOW POINT.
5. REFER TO THE STORM SEWER PLAN AND PROFILE SHEETS FOR ADDITIONAL INFORMATION ON STORM SEWER IMPROVEMENTS.
6. REFER TO THE IRRIGATION PLAN AND PROFILE SHEETS FOR ADDITIONAL INFORMATION ON PROPOSED IMPROVEMENTS AT THE HIGH LINE CANAL TRAIL.
7. FL=FLOWLINE
8. TOC=TOP OF CROSSING



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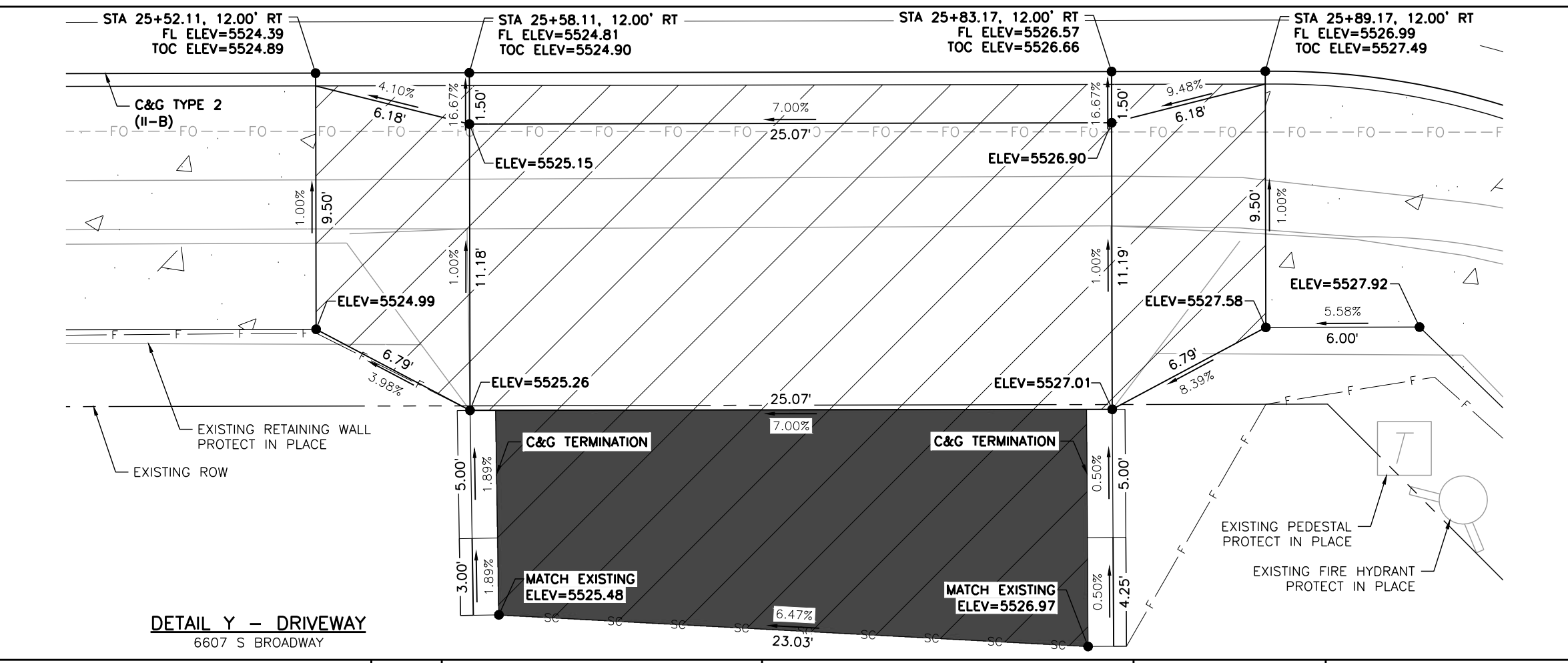
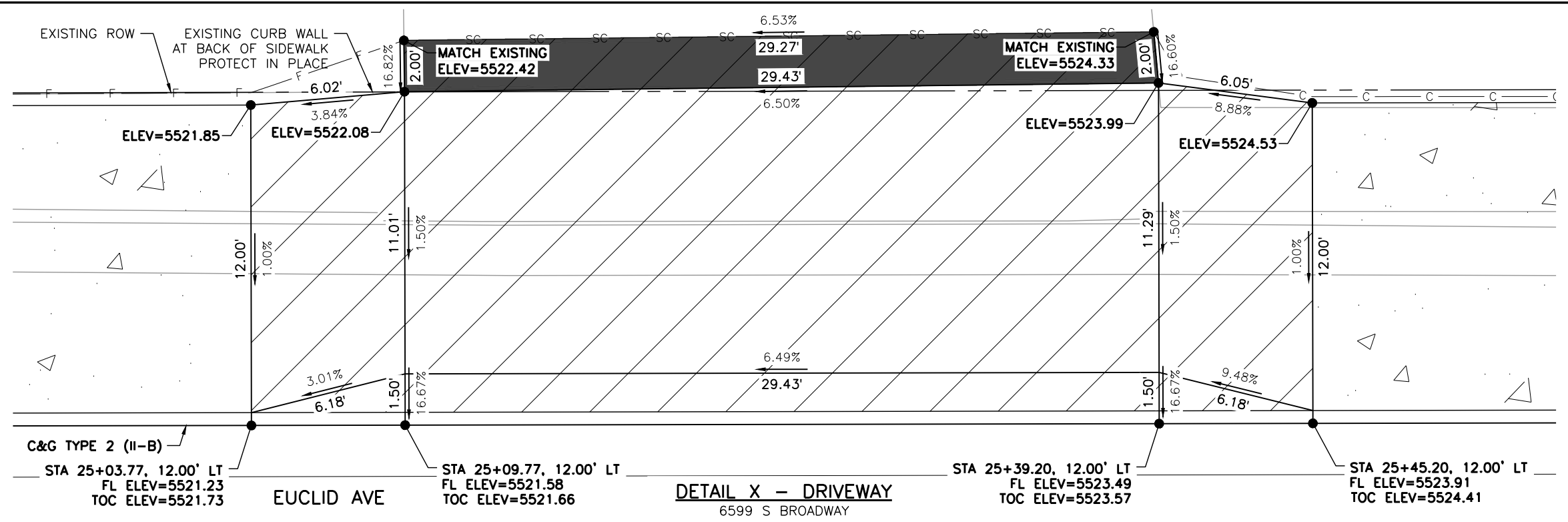
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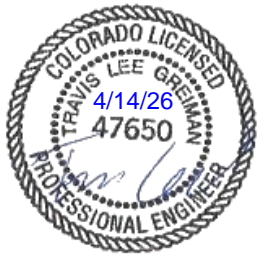
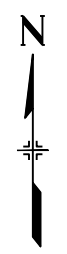
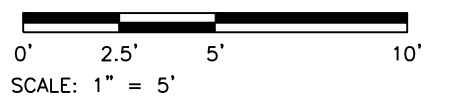
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- LEGEND:**
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 - CONCRETE PAVEMENT (6 INCH)
 - CONCRETE PAVEMENT (10 INCH)
 - CONCRETE PAVEMENT (SPECIAL)
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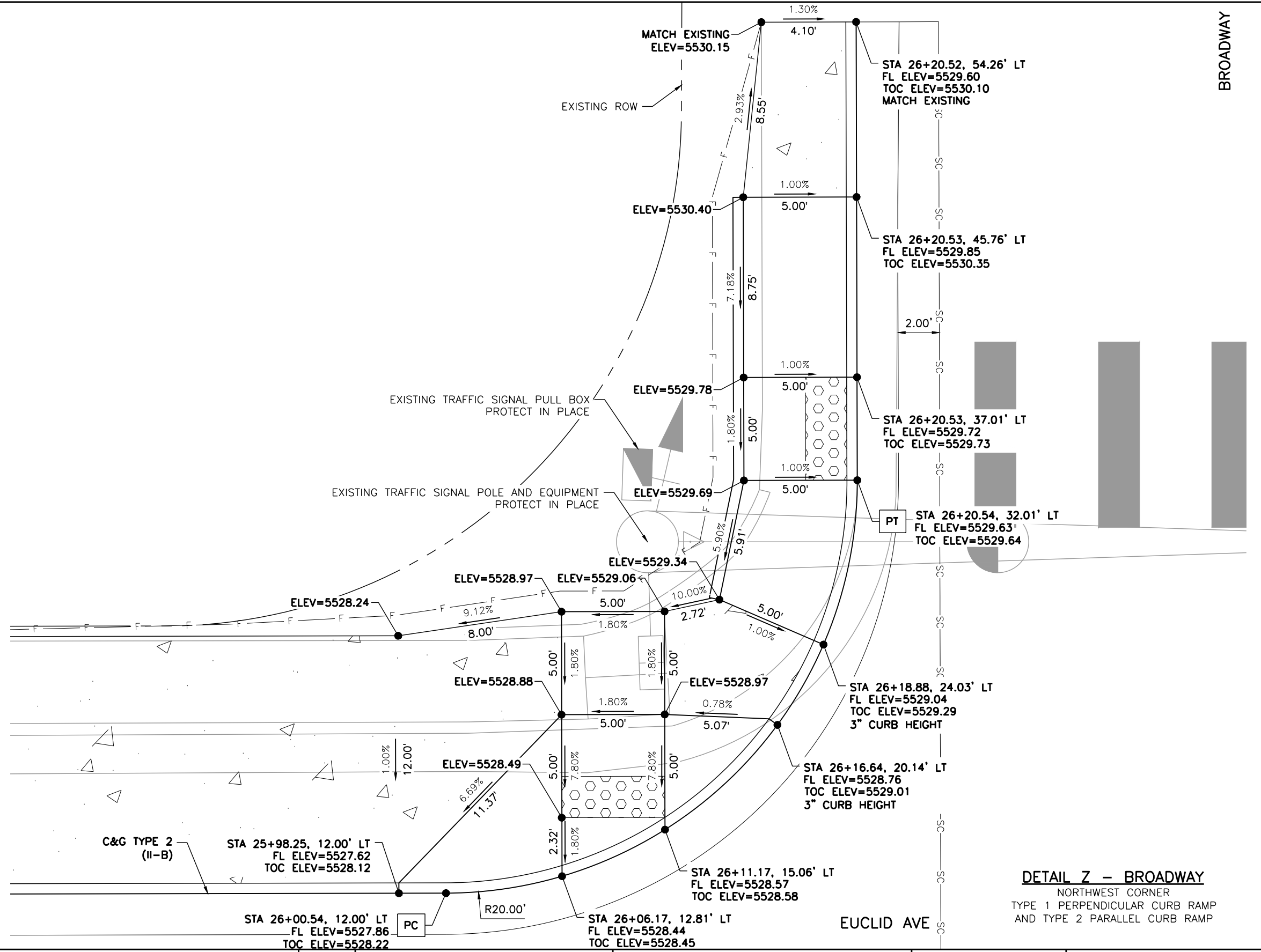
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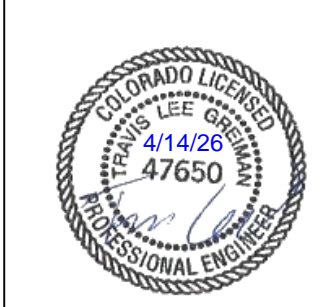
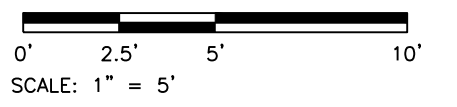
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- LEGEND:**
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DETAIL Z - BROADWAY
NORTHWEST CORNER
TYPE 1 PERPENDICULAR CURB RAMP
AND TYPE 2 PARALLEL CURB RAMP

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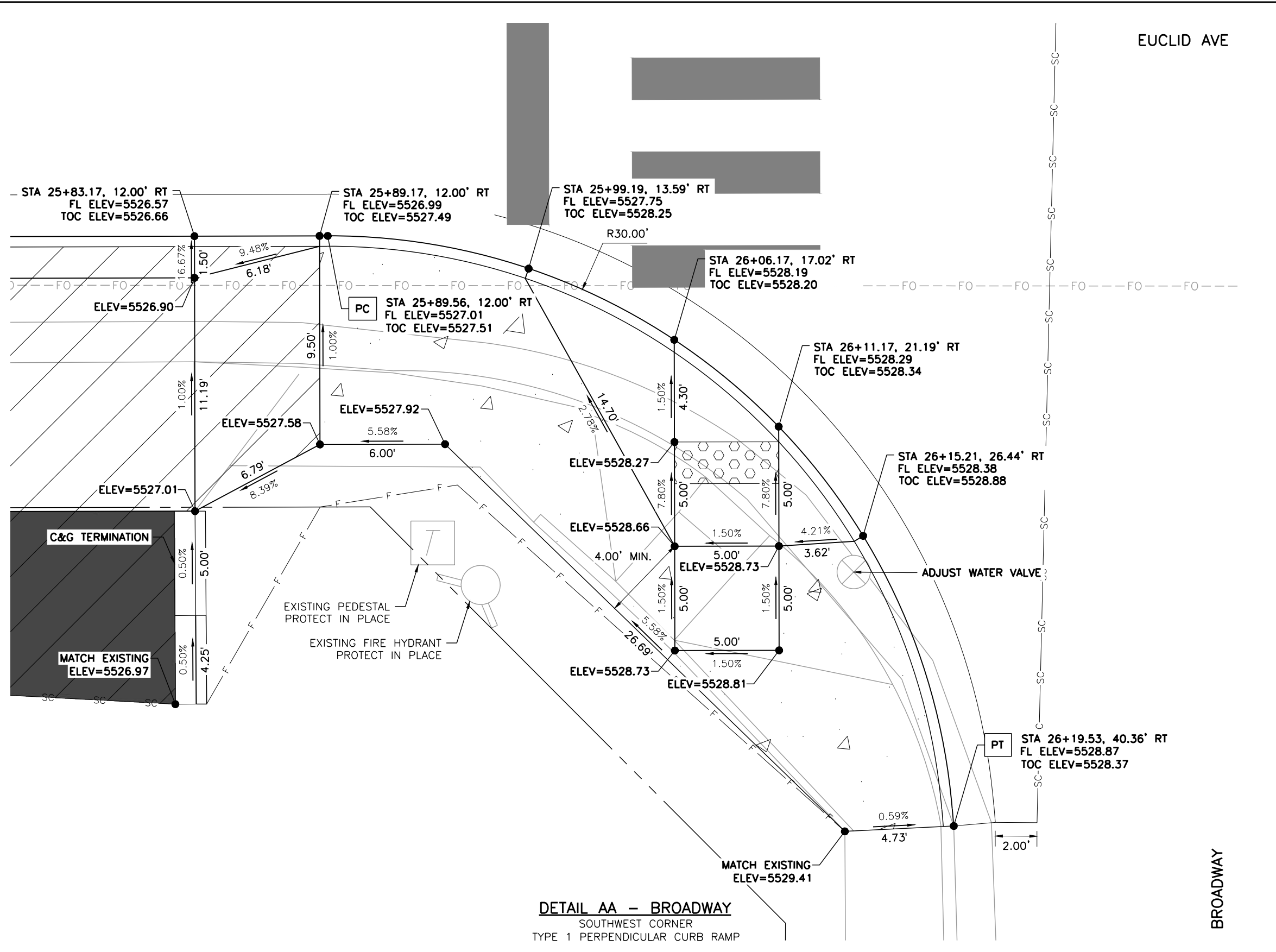
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Detailer:	LML		
Sheet Subset:	RDWAY DTLs	Subset Sheet Number:	22 of 25

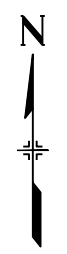
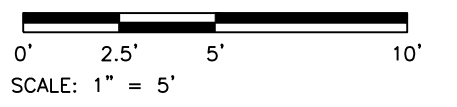
Project No.	26-07
Sheet Number:	48 of 73

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- LEGEND:**
- HOT MIX ASPHALT (PATCHING)
 - CONCRETE PAVEMENT (6 INCH)
 - CONCRETE PAVEMENT (10 INCH)
 - CONCRETE PAVEMENT (SPECIAL)
 - CONCRETE SIDEWALK (6 INCH)
 - DETECTABLE WARNING SURFACE (2 FEET MIN.)
 - SC — SAWCUT LIMITS
 - F — TOE OF FILL — C — TOP OF CUT

- NOTES:**
1. ALL STATION, OFFSET CALLOUTS REFERENCE THE EUCLID AVE HCL AND ARE TO THE FLOWLINE.
 2. LINE AND CURVE DIMENSIONS AND PROPOSED SLOW ARROWS (POINTING TOWARDS THE LOW POINT) ARE APPROXIMATE AND ARE PROVIDED FOR REFERENCE.
 3. TIE-IN LOCATIONS ARE APPROXIMATE. TIE-IN LOCATIONS SHALL BE TO THE NEAREST EXISTING JOINT.
 4. EXPANSION MATERIAL SHALL BE PLACED BETWEEN THE SIDEWALK AND BACK OF CURB AND AROUND FIXED OBJECTS. EXPANSION MATERIAL SHALL BE INCLUDED IN THE COST OF THE SIDEWALK.
 5. CURB RAMP CONSTRUCTION SHALL CONFORM TO THE GRADE, WIDTH, AND LENGTH REQUIREMENTS AS SHOWN IN CDOT STD PLAN NO. M-608-1. WHERE FIELD CONDITIONS PREVENT A FULLY COMPLIANT FACILITY, THE CONTRACTOR SHALL WORK WITH THE ENGINEER TO VERIFY THE FIELD CONSTRAINTS, DOCUMENT THAT THE FACILITY WILL BE BUILT TO BE COMPLIANT TO THE MAXIMUM EXTENT FEASIBLE, AND DOCUMENT AND EXCEPTION TO BE FILED WITH THE CITY.
 6. FL=FLOWLINE 7. TOC=TOP OF CURB



DETAIL AA - BROADWAY
SOUTHWEST CORNER
TYPE 1 PERPENDICULAR CURB RAMP

Print Date: 4/14/2026
File Name: 1525-201872.18-CD-11-RDWAY DTLS.dwg
Horizontal Scale: 1"=5' Vertical Scale:

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Sheet Revisions			
Date	Comments	Initials	

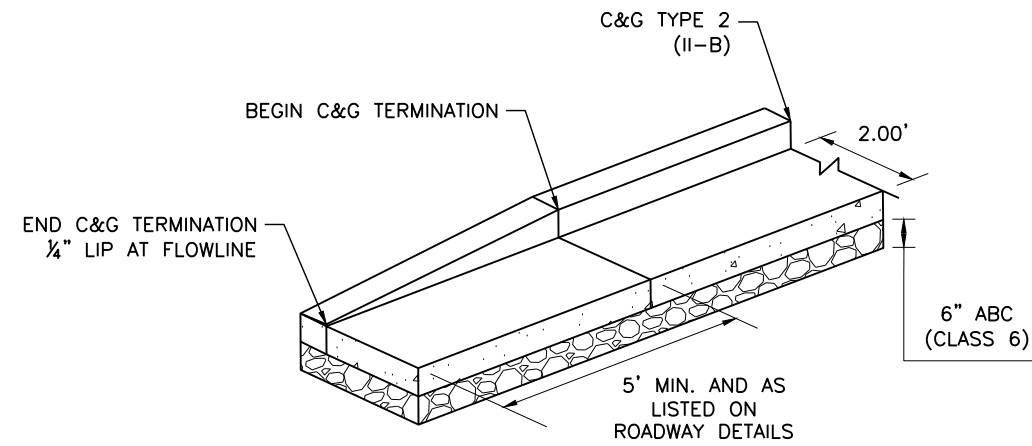
Public Works & Engineering
2255 W Berry Avenue
Littleton, Colorado 80120

As Constructed	
No. Revisions:	
Revised:	
Void:	

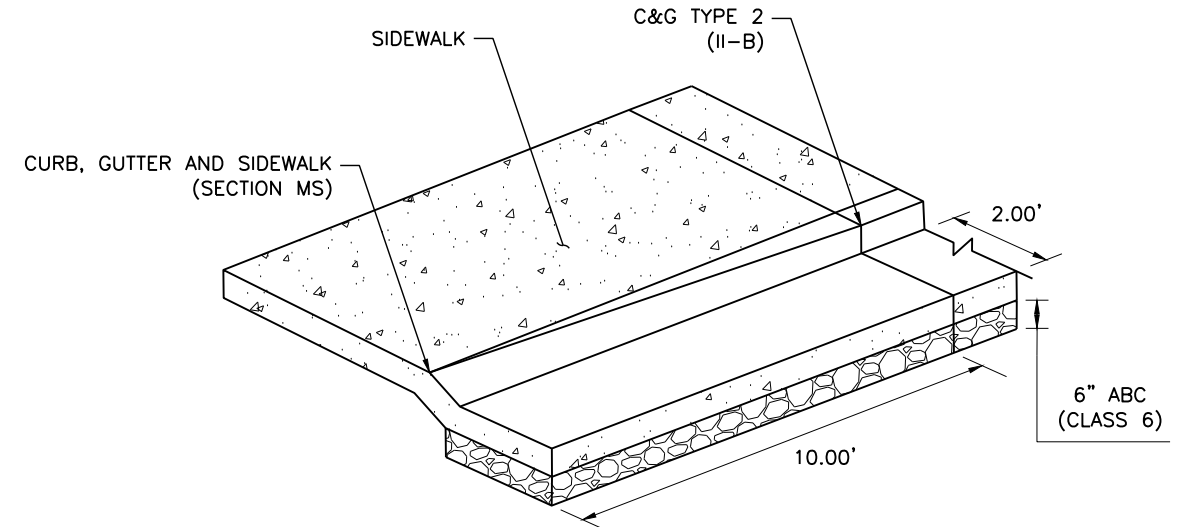
EUCLID AVE IMPROVEMENTS - PHASE 2			
ROADWAY DETAILS			
Designer:	LML	Structure Numbers:	
Detailer:	LML		
Sheet Subset:	RDWAY DTLS	Subset Sheet Number:	23 of 25

Project No.	26-07
Sheet Number:	49 of 73

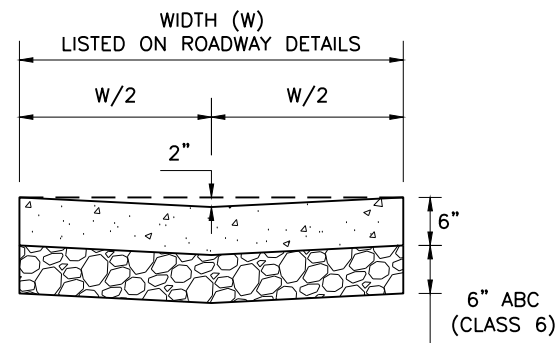
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DETAIL BB - C&G TERMINATION
NOT TO SCALE (N.T.S.)




DETAIL CC - C&G TRANSITION TO CURB, GUTTER AND SIDEWALK (SECTION MS)
NOT TO SCALE (N.T.S.)



DETAIL DD - GUTTER TYPE 2
NOT TO SCALE (N.T.S.)



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 Horizontal Scale: N.T.S. Vertical Scale:



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Sheet Revisions			
Date	Comments	Initials	
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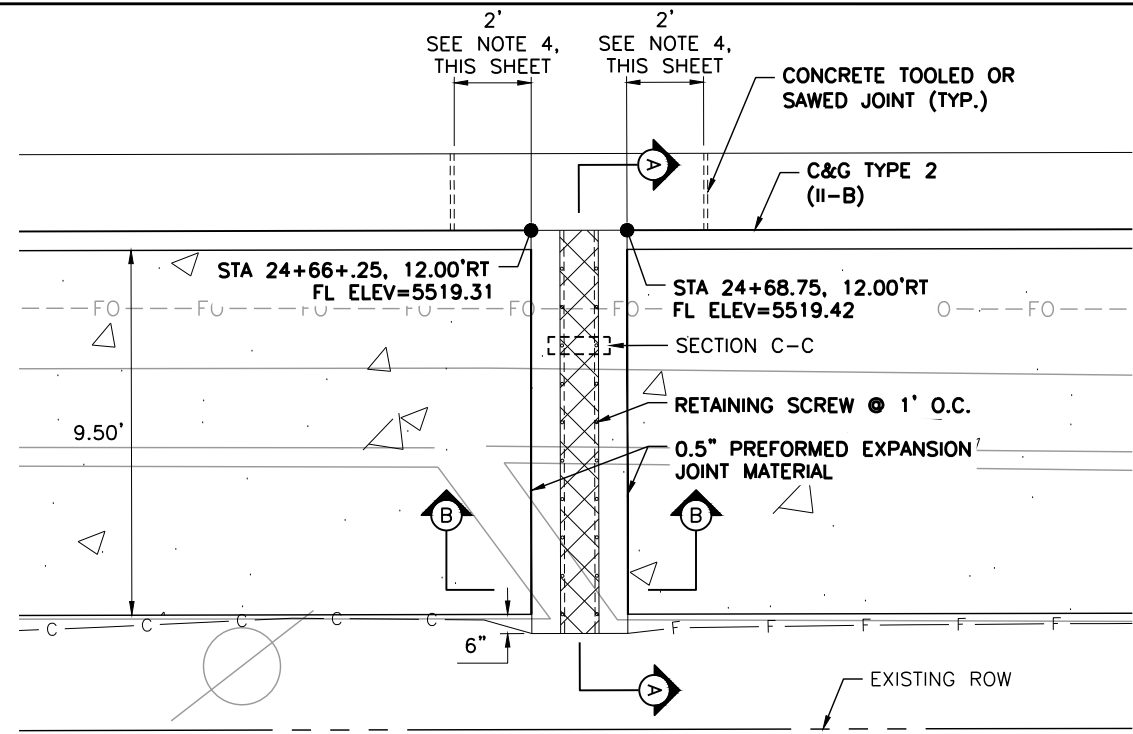
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No. Revisions:
Revised:
Void:

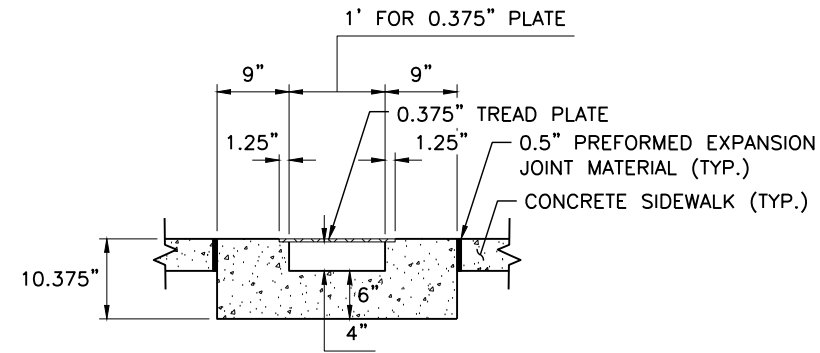
EUCLID AVE IMPROVEMENTS - PHASE 2			
ROADWAY DETAILS			
Designer:	LML	Structure Numbers	
Detailer:	LML		
Sheet Subset:	RDWAY DTLS	Subset Sheet Number:	24 of 25

Project No.
26-07
Sheet Number: 50 of 73

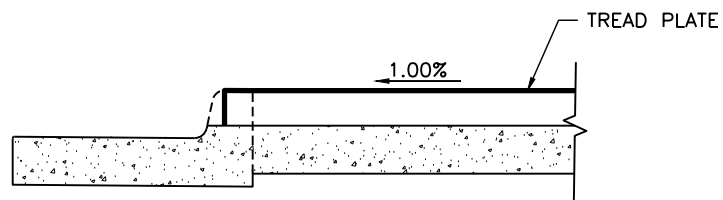
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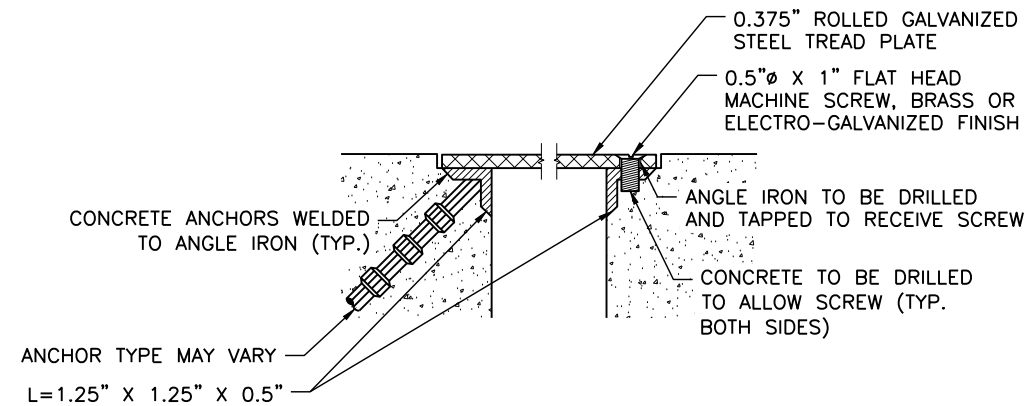
DETAIL EE - SIDEWALK CHASE DRAIN
NEAR THE O-REILLY AUTO PARTS



SECTION B-B
NOT TO SCALE



SECTION A-A
NOT TO SCALE



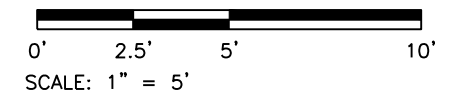
SECTION C-C
TREAD PLATE CONNECTION
NOT TO SCALE

LEGEND:

- CONCRETE SIDEWALK (6 INCH)
- GALVANIZED STEEL TREAD PLATE (0.375" ROLLED-STEEL DIAMOND PATTERN)
- TOE OF FILL
- TOP OF CUT

NOTES:

1. ALL STATION, OFFSET CALLOUTS REFERENCE THE EUCLID AVE HCL AND ARE TO THE FLOWLINE.
2. CHASE AND COVER PLATE RUN PERPENDICULARLY TO THE FLOWLINE.
3. CHASE AND CURB AND GUTTER TO BE PLACED MONOLITHICALLY. THE SIDEWALK SHALL BE PLACED SEPARATELY.
4. REMOVE ADDITIONAL CURB AND GUTTER TO MAINTAIN A 2' MINIMUM ADJACENT CURB AND GUTTER SECTION. TRANSITION THE CURB AND GUTTER TO THE END OF THE TREAD PLATE AS NECESSARY.



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 File Name: 1525-201872.18-CD-11-RDWAY DTLs.dwg
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Sheet Revisions			
Date	Comments	Initials	

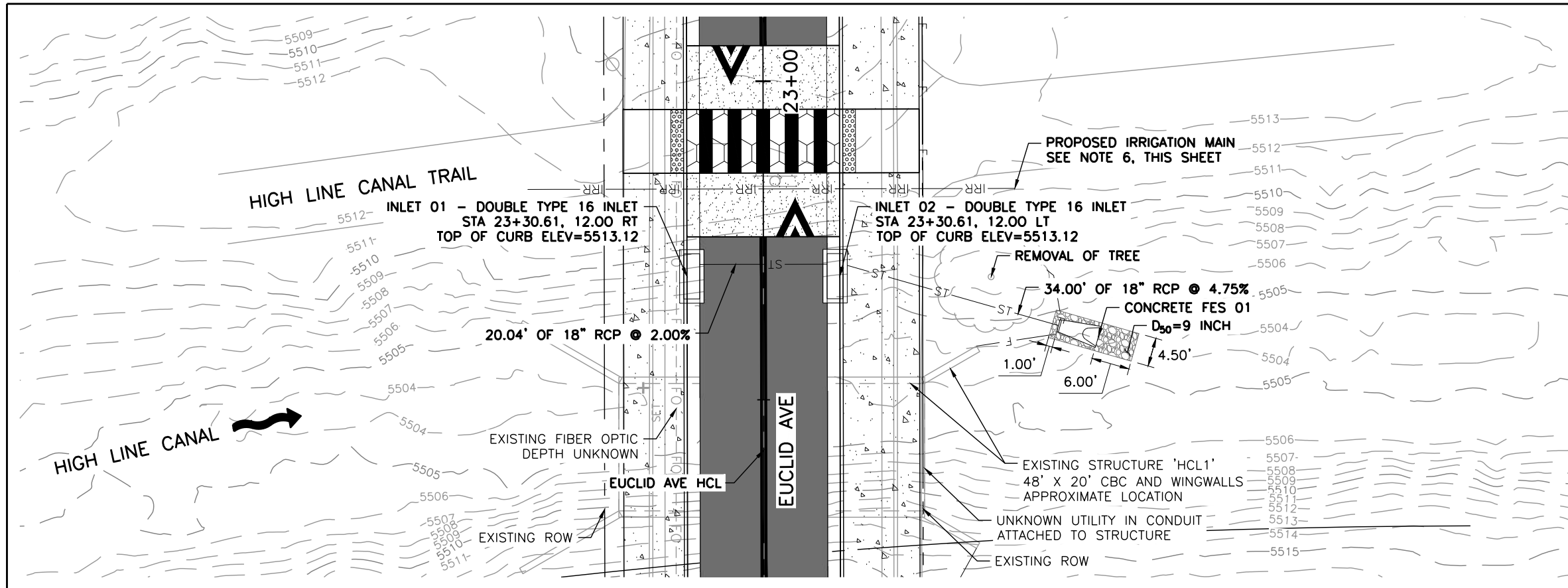
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As Constructed
No. Revisions:
Revised:
Void:

EUCLID AVE IMPROVEMENTS - PHASE 2		
ROADWAY DETAILS		
Designer:	LML	Structure Numbers
Detailer:	LML	
Sheet Subset:	RDWAY DTLs	Subset Sheet Number: 25 of 25

Project No.
26-07
Sheet Number: 51 of 73

Y:\Colorado\1525\1525-201872.18-Euclid_School\Eng_Docs\Drawings\Phase 2\1525-201872.18-CD-12-STORMWATER.dwg - Current tab: 52 - Print Time: Tue, 14 Apr 2026 - 9:12am By: llehto Last Save: Mon, 13 Apr 2026 - 5:48pm

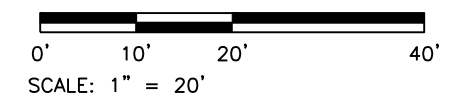
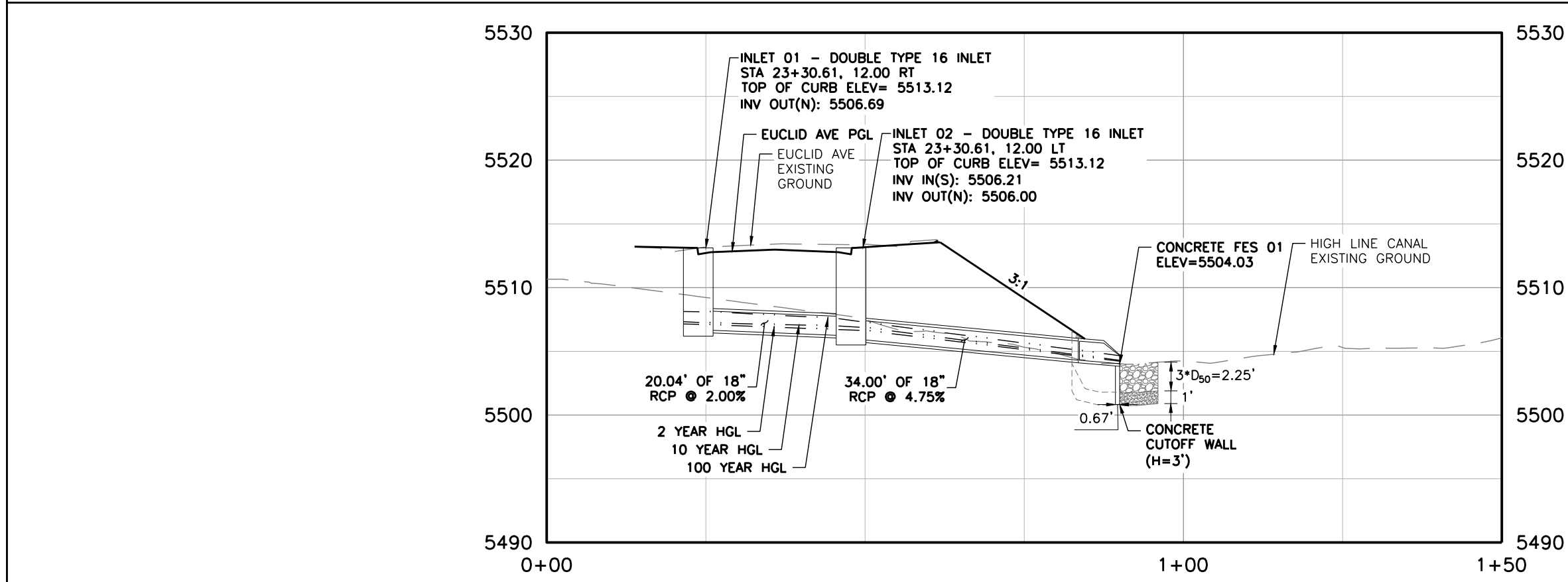


LEGEND:

- HOT MIX ASPHALT
- CONCRETE PAVEMENT (10 INCH)
- CONCRETE PAVEMENT (SPECIAL)
- CONCRETE SIDEWALK (6 INCH)
- SOIL RIPRAP (9 INCH)
(PLACE 3\"/>

NOTES:

1. ALL STATION, OFFSET CALLOUTS REFERENCE THE EUCLID AVE HCL.
2. STATION, OFFSET CALLOUTS FOR ALL CURB INLETS ARE TO THE FLOWLINE AT THE CENTER OF THE INLET.
3. REFER TO THE STORM SEWER DETAILS FOR INFORMATION ON THE DOUBLE TYPE 16 INLET.
4. THE CONCRETE FLARED END SECTION (FES) SHALL BE PER CDOT M-603-10. THE FES SHALL INCLUDE THE INSTALLATION OF TWO JOINT FASTENERS BETWEEN THE FES AND THE END SECTION OF THE PIPE. INSTALL FASTENERS ROUGHLY AT THE TEN O'CLOCK AND TWO O'CLOCK POSITIONS AND TRIM THE JOINT FASTENER THREADS FLUSH WITH THE INTERIOR BOLTS.
5. THE HIGH LINE CANAL EXISTING GROUND INFORMATION IS TAKEN FROM THE DRCOG REGIONAL LIDAR PROJECT AND REFLECTS 2020, 1-FOOT CONTOUR TOPOGRAPHY THAT ADHERES TO THE U.S. GEOLOGICAL SURVEY LIDAR BASE SPECIFICATION.
6. REFER TO THE IRRIGATION SHEETS FOR ADDITIONAL INFORMATION ON THE PROPOSED IMPROVEMENTS AT THE HIGH LINE CANAL TRAIL.



Print Date: 4/14/2026

File Name: 1525-201872.18-CD-12-STORMWATER.dwg

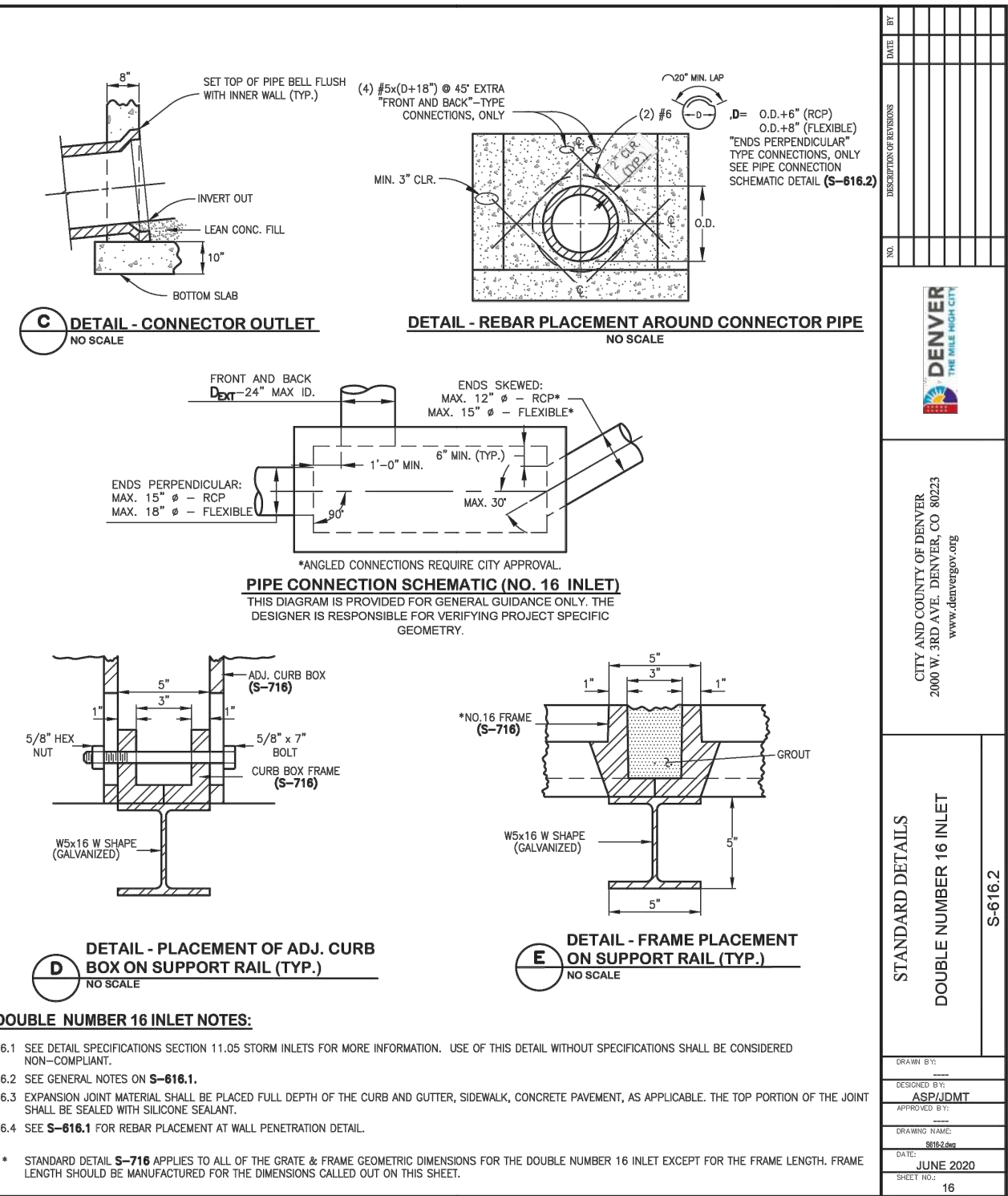
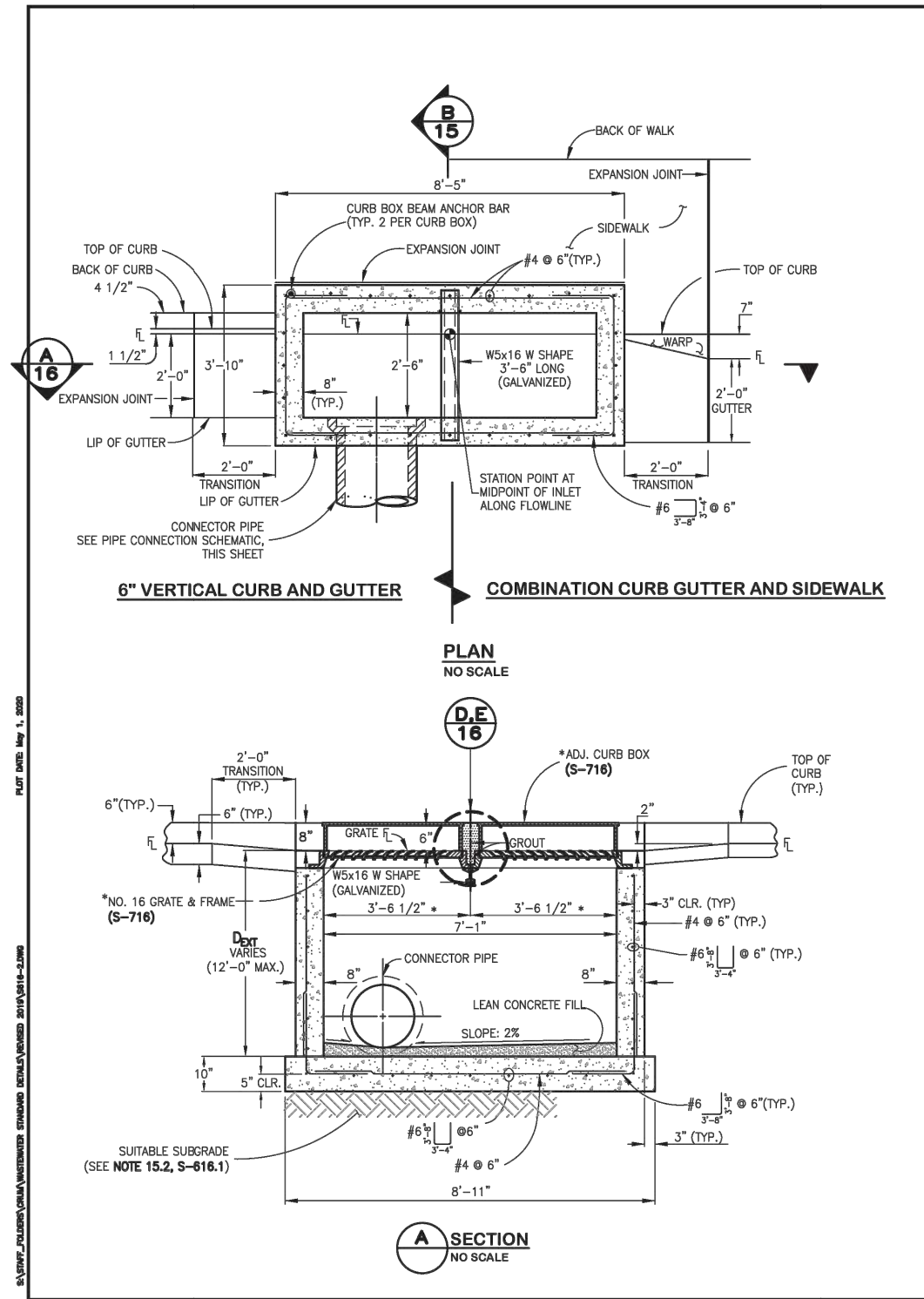
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No. Revisions:	Designer:	LML	26-07
Revised:	Detailer:	LML	
Void:	Sheet Subset:	STORM	Sheet Number: 52 of 73
	Structure Numbers:		Subset Sheet Number: 1 of 2

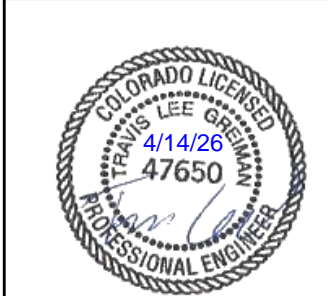


NO.	DATE	BY	DESCRIPTION OF REVISIONS

CITY AND COUNTY OF DENVER
2000 W. 3RD AVE. DENVER, CO 80223
www.denvergov.org

STANDARD DETAILS
DOUBLE NUMBER 16 INLET
S-616.2

DRAWN BY: _____
DESIGNED BY: ASP/JDMT
APPROVED BY: _____
DRAWING NAME: S-616.2.dwg
DATE: JUNE 2020
SHEET NO.: 16



Print Date: 4/14/2026
File Name: 1525-201872-18-CD-12-STORMWATER.dwg
Horizontal Scale: N.T.S. Vertical Scale: _____

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Date	Comments	Initials	

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Colorado

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As Constructed		EUCLID AVE IMPROVEMENTS - PHASE 2 STORM SEWER DETAILS	
No. Revisions:		Designer:	LML
Revised:		Detailer:	LML
Void:		Sheet Subset:	STORM
		Structure Numbers:	
		Subset Sheet Number:	2 of 2

Project No.
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Sheet Number: 53 of 73

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SIGN QUANTITIES

SIGN NO.	LOCATION	SIDE	SIGN CODE	SIGN DESCRIPTION	SIGN SIZE W X H (INCHES)	APPROX. AREA OF SIGN (SF)	SIGN BACKGROUND COLOR	202-00810	202-00821	210-00810	614-00011	614-00012	614-00217	614-72860	614-80003	614-84000	503-00018	
								REMOVAL OF GROUND SIGN	REMOVAL OF SIGN PANEL	RESET GROUND SIGN	SIGN PANEL CLASS I	SIGN PANEL CLASS II	STEEL SIGN POSTS (2"x2" TELESPAR TUBING)	PEDESTRIAN PUSH BUTTON	RECTANGULAR RAPID FLASHING BEACON	TRAFFIC SIGNAL PEDESTRIAN POLE STL.	DRILLED SHAFT 18 INCH	
								EA	EA	EA	SF	SF	LF	EA	EA	EA	LF	
1.01	14+47	LT	R3-17	BIKE LANE				1										
			R3-17bP	ENDS														
• 1.02	14+81	RT	W11-2	PEDESTRIAN CROSSING SYMBOL					1									
			W16-7P(L)	DIAGONAL DOWNWARD-POINTING ARROW (LEFT)														
•• 1.03	14+81	RT	S1-1	SCHOOL CROSSING SYMBOL	30 x 30	4.7	YELLOW-GREEN				4.7							
			W16-7P(L)	DIAGONAL DOWNWARD-POINTING ARROW (LEFT)	24 x 12	2.0	YELLOW-GREEN				2.0							
1.04	14+82	LT	S1-1	SCHOOL CROSSING SYMBOL	30 x 30	4.7	YELLOW-GREEN				4.7							
			W16-7P(L)	DIAGONAL DOWNWARD-POINTING ARROW (LEFT)	24 x 12	2.0	YELLOW-GREEN				2.0	11.50						
1.05	14+95	LT	W11-2	PEDESTRIAN CROSSING SYMBOL				1										
			W16-7P(L)	DIAGONAL DOWNWARD-POINTING ARROW (LEFT)														
			R7-9	NO PARKING/BIKE LANE														
1.06	15+19	RT	R7-8(L)	RESERVED PARKING HANDICAPPED (LEFT ARROW)				1										
1.07	15+38	RT	R7-8(R)	RESERVED PARKING HANDICAPPED (RIGHT ARROW)				1										
1.08	15+80	RT	R7-8(L)	RESERVED PARKING HANDICAPPED (LEFT ARROW)						1								
1.09	16+03	RT	W17-1	SPEED HUMP	36 x 36	9.0	YELLOW				9.0	13.75						
			W13-1P	15 M.P.H.	18 x 18	2.3	YELLOW				2.3							
1.10	16+53	RT	R7-8(R)	RESERVED PARKING HANDICAPPED (RIGHT ARROW)						1								
1.11	17+15	LT	W17-1	SPEED HUMP	36 x 36	9.0	YELLOW				9.0	12.25						
SIGN SUBTOTALS								4	1	2	15.6	18.0	37.50	0	0	0	0	0

SIGN NOTES:

- SIGN POSTS SHALL BE STEEL 2"x2" TELESPAR TUBING. ALL SIGN POSTS SHALL INCLUDE ANCHOR SLEEVES.
 - SIGN POSTS INSTALLED WITHIN A HARDSCAPE AREA SHALL INCLUDE A 6" PVC SLEEVE. PVC SLEEVES ARE NOT REQUIRED WITHIN GRASS OR DIRT AREAS.
 - ANCHOR SLEEVES AND PVC SLEEVES SHALL BE INCLUDED IN THE COST OF TELESPAR TUBING.
- REMOVE THE SIGN PANELS FROM THE EXISTING UTILITY POLE.
 - PLACE THE SIGN PANEL ON THE EXISTING UTILITY POLE.



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Sheet Revisions			
Date	Comments	Initials	

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 Public Works & Engineering
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As Constructed
No. Revisions:
Revised:
Void:

EUCLID AVE IMPROVEMENTS - PHASE 2
 SIGNING AND PAVEMENT MARKING TABULATIONS

Designer: LML
 Detailer: LML
 Sheet Subset: S&S TABS

Project No.
 26-07

Structure Numbers:
 Subset Sheet Number: 1 of 4
 Sheet Number: 54 of 73

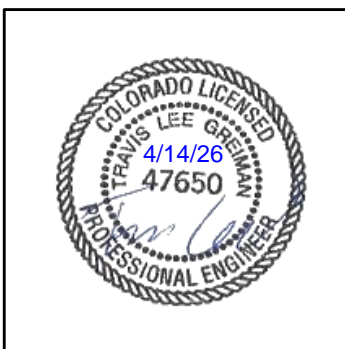
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SIGN QUANTITIES

SIGN NO.	LOCATION	SIDE	SIGN CODE	SIGN DESCRIPTION	SIGN SIZE W X H (INCHES)	APPROX. AREA OF SIGN (SF)	SIGN BACKGROUND COLOR	202-00810	202-00821	210-00810	614-00011	614-00012	614-00217	614-72860	614-80003	614-84000	503-00018		
								REMOVAL OF GROUND SIGN	REMOVAL OF SIGN PANEL	RESET GROUND SIGN	SIGN PANEL CLASS I	SIGN PANEL CLASS II	STEEL SIGN POSTS (2"x2" TELESPAR TUBING)	PEDESTRIAN PUSH BUTTON	RECTANGULAR RAPID FLASHING BEACON	TRAFFIC SIGNAL PEDESTRIAN POLE STL.	DRILLED SHAFT 18 INCH		
								EA	EA	EA	SF	SF	LF	EA	EA	EA	LF		
2.01	18+15	LT	R7-9	NO PARKING/BIKE LANE				1											
2.02	18+53	RT	W17-1	SPEED HUMP	36 x 36	9.0	YELLOW					9.0	12.25						
2.03	18+97	LT	R7-9	NO PARKING/BIKE LANE				1											
2.04	19+36	LT	W17-1	SPEED HUMPS				1											
2.05	19+65	LT	W17-1	SPEED HUMP	36 x 36	9.0	YELLOW					9.0	12.25						
2.06	20+53	LT	R7-1	NO PARKING ANY TIME				1											
• 2.07	21+09	RT	S1-1	SCHOOL CROSSING SYMBOL						1									
			W16-7P(L)	DIAGONAL DOWNWARD-POINTING ARROW (LEFT)															
			OM3-R	OBJECT MARKER (RIGHT)						1									
•• 2.08	20+90	LT	S1-1	SCHOOL CROSSING SYMBOL						1									
			W16-7P(L)	DIAGONAL DOWNWARD-POINTING ARROW (LEFT)															
			OM3-R	OBJECT MARKER (RIGHT)						1									
2.09	21+09	RT	R2-1	SPEED LIMIT - 25 MPH					1										
2.10	21+94	RT	W17-1	SPEED HUMP	36 x 36	9.0	YELLOW					9.0	12.25						
SIGN SUBTOTALS								4	3	2	0.0	27.0	36.75	0	0	0	0	0	

SIGN NOTES:

- SIGN POSTS SHALL BE STEEL 2"x2" TELESPAR TUBING. ALL SIGN POSTS SHALL INCLUDE ANCHOR SLEEVES.
 - SIGN POSTS INSTALLED WITHIN A HARDSCAPE AREA SHALL INCLUDE A 6" PVC SLEEVE. PVC SLEEVES ARE NOT REQUIRED WITHIN GRASS OR DIRT AREAS.
 - ANCHOR SLEEVES AND PVC SLEEVES SHALL BE INCLUDED IN THE COST OF TELESPAR TUBING.
- REMOVE THE OBJECT MARKER (OM3-R). RESET THE OTHER SIGN PANELS.
 - REMOVE THE OBJECT MARKER (OM3-R). RESET THE OTHER SIGN PANELS.



Print Date: 4/14/2026	 Public Works & Engineering 2255 W Berry Avenue Littleton, Colorado 80120	As Constructed No. Revisions: Revised: Void:	EUCLID AVE IMPROVEMENTS - PHASE 2 SIGNING AND PAVEMENT MARKING TABULATIONS		Project No. 26-07 Sheet Number: 55 of 73
File Name: 1525-201872.18-CD-13-S&S TABS.dwg			Designer: LML Detailer: LML	Structure Numbers	
Horizontal Scale: Vertical Scale:			Sheet Subset: S&S TABS Subset Sheet Number: 2 of 4		

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SIGN QUANTITIES

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								REMOVAL OF GROUND SIGN	REMOVAL OF SIGN PANEL	RESET GROUND SIGN	SIGN PANEL CLASS I	SIGN PANEL CLASS II	STEEL SIGN POSTS (2"x2" TELESPAR TUBING)	PEDESTRIAN PUSH BUTTON	RECTANGULAR RAPID FLASHING BEACON	TRAFFIC SIGNAL PEDESTRIAN POLE STL.	DRILLED SHAFT 18 INCH		
								EA	EA	EA	SF	SF	LF	EA	EA	EA	LF		
3.01	22+70	LT	R7-9	NO PARKING/BIKE LANE				1											
3.02	22+89	RT	W11-2	PEDESTRIAN CROSSING SYMBOL				1											
			W16-7P(L)	DIAGONAL DOWNWARD-POINTING ARROW (LEFT)															
• 3.03	22+97	RT	R7-9	NO PARKING/BIKE LANE					1										
3.04	23+04	LT	S1-1	SCHOOL CROSSING SYMBOL	30 x 30	4.7	YELLOW-GREEN												
			S1-1	SCHOOL CROSSING SYMBOL	30 x 30	4.7	YELLOW-GREEN												
			W16-7P(L)	DIAGONAL DOWNWARD-POINTING ARROW (LEFT)	24 x 12	2.0	YELLOW-GREEN								1	1	1	6	
			W16-7P(R)	DIAGONAL DOWNWARD-POINTING ARROW (RIGHT)	24 x 12	2.0	YELLOW-GREEN												
			R10-25	PUSH BUTTON TO TURN ON WARNING LIGHTS	9 x 12	0.8	WHITE												
3.05	23+15	RT	S1-1	SCHOOL CROSSING SYMBOL	30 x 30	4.7	YELLOW-GREEN												
			S1-1	SCHOOL CROSSING SYMBOL	30 x 30	4.7	YELLOW-GREEN												
			W16-7P(L)	DIAGONAL DOWNWARD-POINTING ARROW (LEFT)	24 x 12	2.0	YELLOW-GREEN								1	1	1	6	
			W16-7P(R)	DIAGONAL DOWNWARD-POINTING ARROW (RIGHT)	24 x 12	2.0	YELLOW-GREEN												
			R10-25	PUSH BUTTON TO TURN ON WARNING LIGHTS	9 x 12	0.8	WHITE												
3.06	23+20	LT	W11-2	PEDESTRIAN CROSSING SYMBOL				1											
			W16-7P(L)	DIAGONAL DOWNWARD-POINTING ARROW (LEFT)															
3.07	24+14	LT	W17-1	SPEED HUMP	36 x 36	9.0	YELLOW				9.0								
			W13-1P	15 M.P.H.	18 x 18	2.3	YELLOW				2.3		13.75						
3.08	25+03	LT	R2-1	SPEED LIMIT - 25 MPH				1											
3.09	25+64	LT	R7-9	NO PARKING/BIKE LANE				1											
SIGN SUBTOTALS								5	1	0	2.3	9.0	13.75	2	2	2	12		
SIGN TOTALS								13	5	4	17.9	54.0	88.00	2	2	2	12		

SIGN NOTES:

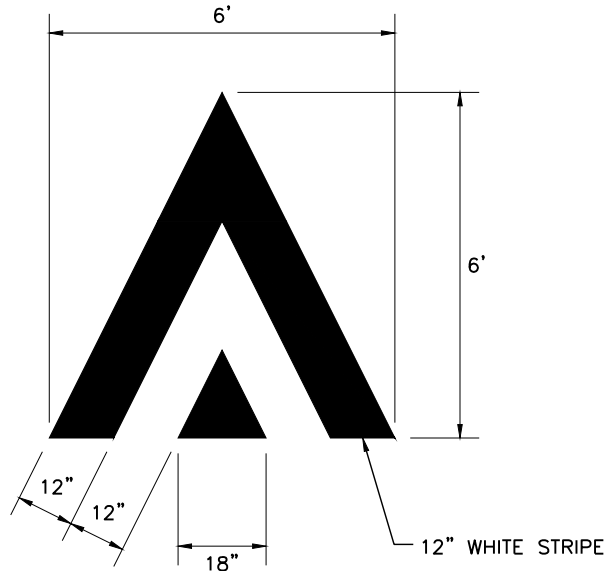
- SIGN POSTS SHALL BE STEEL 2"x2" TELESPAR TUBING. ALL SIGN POSTS SHALL INCLUDE ANCHOR SLEEVES.
 - SIGN POSTS INSTALLED WITHIN A HARDSCAPE AREA SHALL INCLUDE A 6" PVC SLEEVE. PVC SLEEVES ARE NOT REQUIRED WITHIN GRASS OR DIRT AREAS.
 - ANCHOR SLEEVES AND PVC SLEEVES SHALL BE INCLUDED IN THE COST OF TELESPAR TUBING.
- REMOVE THE SIGN PANEL FROM THE EXISTING UTILITY POLE.



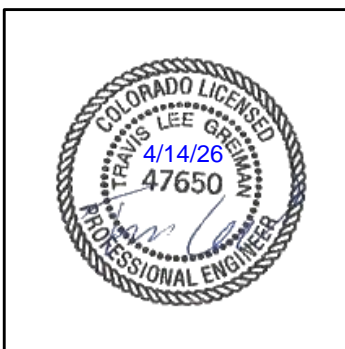
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5660 Greenwood Plaza Blvd, 400N Greenwood Village, Colorado 80111 (303) 771-6868				Void:	Detailer: LML		Sheet Subset: S&S TABS	Subset Sheet Number: 3 of 4	Sheet Number: 56 of 73			

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PAVEMENT MARKING QUANTITIES					
LOCATION	ROADWAY	627-00008		627-30405	627-30410
		MODIFIED EPOXY PAVEMENT MARKING		PREFORMED THERMOPLASTIC PAVEMENT MARKING	
		4" DOUBLE YELLOW LINE	4" WHITE EDGE LINE	SPEED TABLE	XWALK-STOPLINE
		LF	LF	SF	SF
14+33 TO 14+97	EUCLID AVE	110			90
15+05 TO 15+25	CHEROKEE ST				90
15+33 TO 20+60	EUCLID AVE	906	456	96	
20+17 TO 20+37	ACOMA ST NORTH	96			110
20+45 TO 21+43	EUCLID AVE	138			90
21+30 TO 21+50	ACOMA ST SOUTH				90
21+60 TO 26+13	EUCLID AVE	820		24	230
SUBTOTALS		2070	456	120	700
TOTAL (SF)		690	152	120	700
TOTAL (GALLONS)		10		-	-

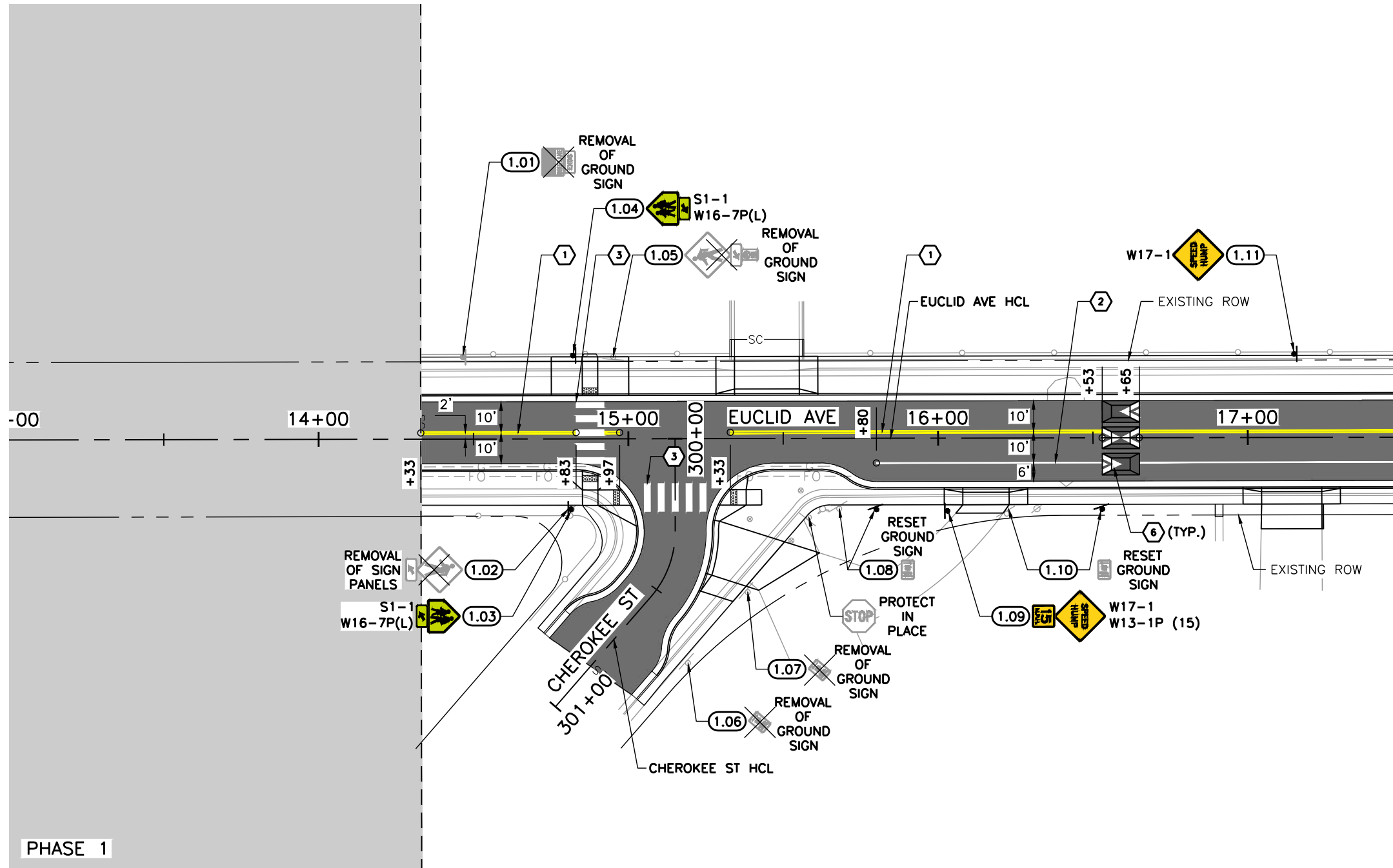


DETAIL A - SPEED TABLE PAVEMENT MARKING
NOT TO SCALE (N.T.S.)



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Horizontal Scale: N.T.S. Vertical Scale:						Revised:	Designer: LML	Structure Numbers	Sheet Number: 57 of 73		
 5660 Greenwood Plaza Blvd, 400N Greenwood Village, Colorado 80111 (303) 771-6868					Void:	Detailer: LML	Sheet Subset: S&S TABS	Subset Sheet Number: 4 of 4			

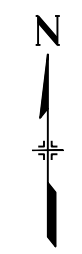
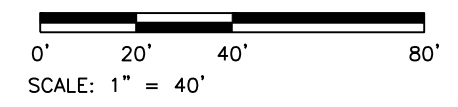
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MATCHLINE STA 17+50
SEE SHEET 59

- LEGEND:**
- EUCLID AVE IMPROVEMENTS - PHASE 1 COMPLETED SUMMER 2025
 - (X.XX)** SIGN NO.
 - 1 4" DOUBLE YELLOW LINE
 - 2 4" WHITE EDGE LINE
 - 3 2' X 9' CROSSWALK BARS
 - 4 2' X 10' CROSSWALK BARS
 - 5 24" WHITE STOP BAR
 - 6 SPEED TABLE PAVEMENT MARKING (SEE DETAIL A, SHEET 57)

- NOTES:**
1. PAVEMENT MARKINGS, COMPLETED AS PART OF PHASE 1, SHALL BE PROTECTED IN PLACE. IF PHASE 2 CONSTRUCTION ACTIVITIES REDUCE VISIBILITY OF PHASE 1 PAVEMENT MARKINGS, THE PAVEMENT MARKINGS SHALL BE REFRESHED TO AN EQUAL OR BETTER CONDITION.
 2. EXISTING SIGNS AND PAVEMENT MARKINGS ARE SHOWN IN GREY. PROPOSED SIGNS AND STRIPING ARE SHOWN IN COLOR.
 3. LANE DIMENSIONS ARE FROM CENTER OF STRIPE TO CENTER OF STRIPE OR EDGE OF PAVEMENT.
 4. ALL SYMBOLS, CROSSWALKS, AND STOP BARS ARE TO BE PREFORMED THERMOPLASTIC PAVEMENT MARKINGS. ALL OTHERS SHALL BE MODIFIED EPOXY PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED ON THE PLANS.
 5. TRUNCATED STATION CALLOUTS ARE PLACED AT EDGES OF PROPOSED PAVEMENT MARKINGS OR PI POINTS.



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Sheet Revisions			
Date	Comments	Initials	

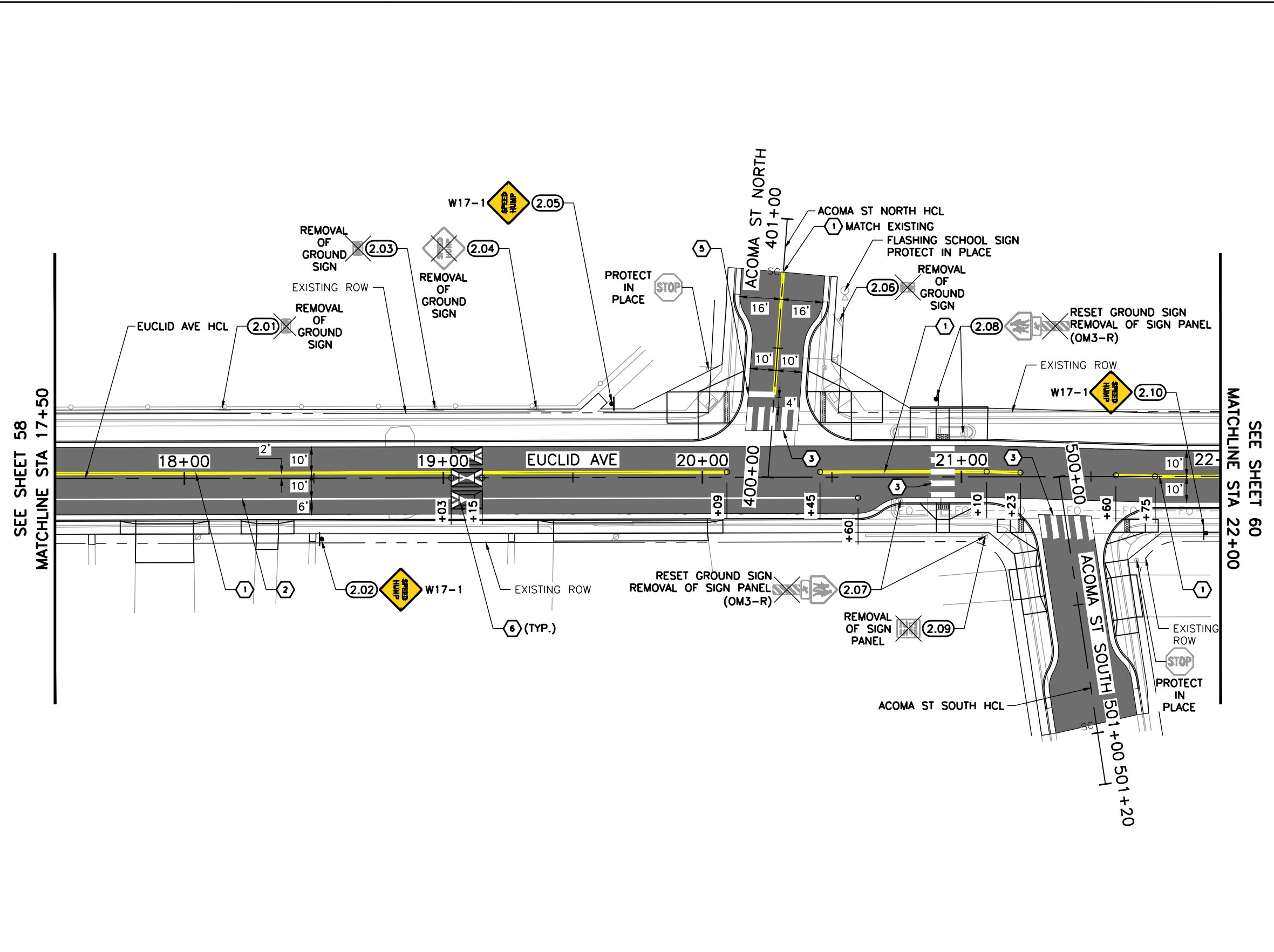
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 Littleton, Colorado 80120

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No. Revisions:	
Revised:	
Void:	

EUCLID AVE IMPROVEMENTS - PHASE 2 SIGNING AND PAVEMENT MARKING PLANS			
Designer:	LML	Structure Numbers:	
Detailer:	LML		
Sheet Subset:	S&S	Subset Sheet Number:	1 of 3

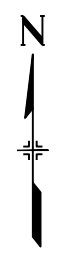
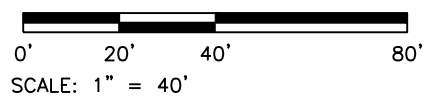
Project No.	26-07
Sheet Number:	58 of 73

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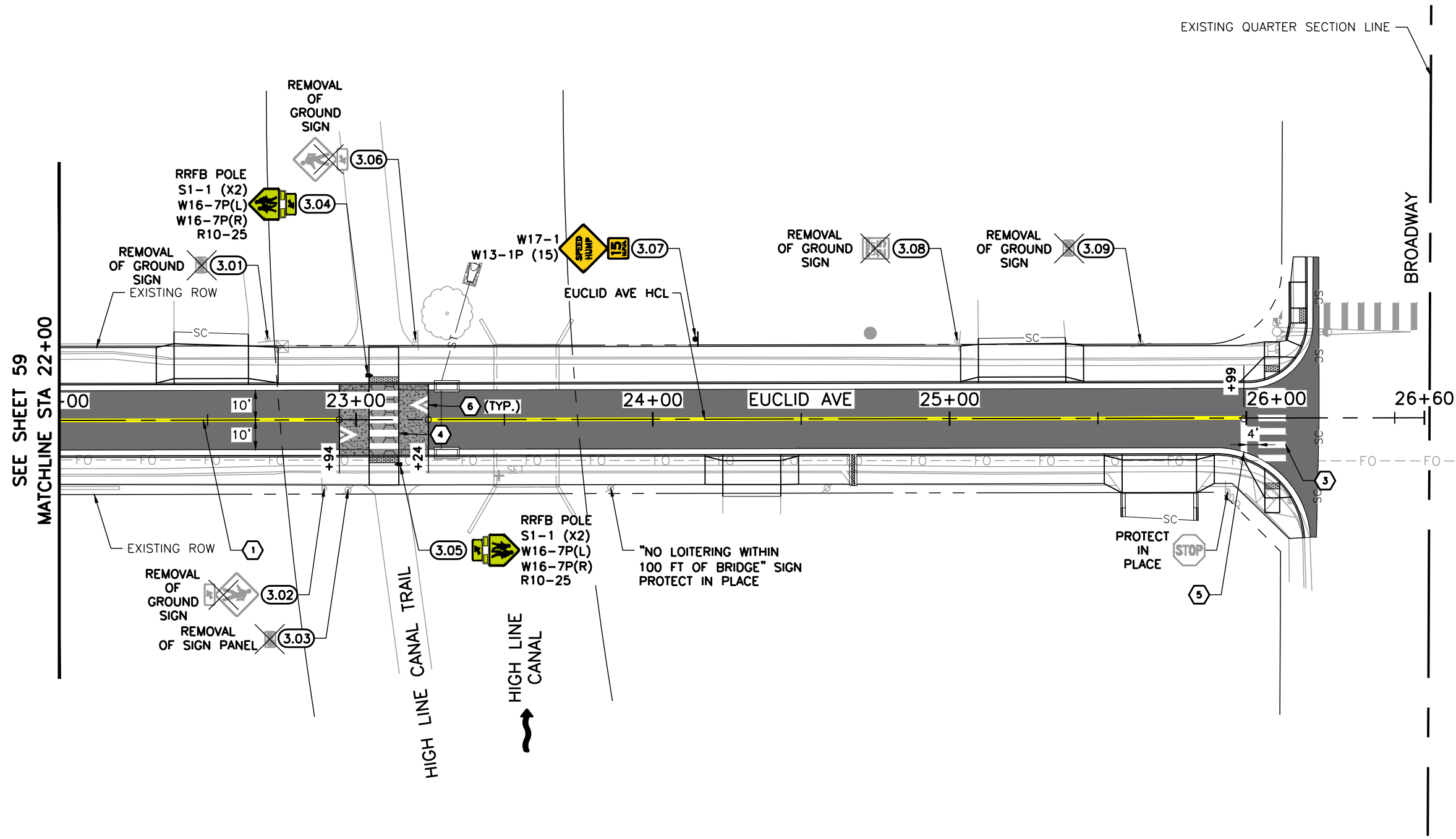
- LEGEND:**
- EUCLID AVE IMPROVEMENTS - PHASE 1 COMPLETED SUMMER 2025
 - (X.XX)** SIGN NO.
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 - 3 2' X 9' CROSSWALK BARS
 - 4 2' X 10' CROSSWALK BARS
 - 5 24" WHITE STOP BAR
 - 6 SPEED TABLE PAVEMENT MARKING (SEE DETAIL A, SHEET 57)

- NOTES:**
1. PAVEMENT MARKINGS, COMPLETED AS PART OF PHASE 1, SHALL BE PROTECTED IN PLACE. IF PHASE 2 CONSTRUCTION ACTIVITIES REDUCE VISIBILITY OF PHASE 1 PAVEMENT MARKINGS, THE PAVEMENT MARKINGS SHALL BE REFRESHED TO AN EQUAL OR BETTER CONDITION.
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 5. TRUNCATED STATION CALLOUTS ARE PLACED AT EDGES OF PROPOSED PAVEMENT MARKINGS OR PI POINTS.



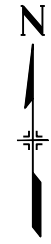
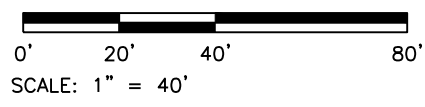
Print Date: 4/14/2026 File Name: 1525-201872.18-CD-14-S&S PLANS.dwg Horizontal Scale: 1"=40' Vertical Scale:	Sheet Revisions <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 10%;">Date</th> <th style="width: 60%;">Comments</th> <th style="width: 30%;">Initials</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	Date	Comments	Initials										 Public Works & Engineering 2255 W Berry Avenue Littleton, Colorado 80120	As Constructed No. Revisions: Revised: Void:	EUCLID AVE IMPROVEMENTS - PHASE 2 SIGNING AND PAVEMENT MARKING PLANS Designer: LML Detailer: LML Sheet Subset: S&S	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;">Project No.</td> <td style="text-align: center;">26-07</td> </tr> <tr> <td style="text-align: center;">Sheet Number: 59 of 73</td> <td style="text-align: center;">Subset Sheet Number: 2 of 3</td> </tr> </table>	Project No.	26-07	Sheet Number: 59 of 73	Subset Sheet Number: 2 of 3
Date	Comments	Initials																			
Project No.	26-07																				
Sheet Number: 59 of 73	Subset Sheet Number: 2 of 3																				

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- LEGEND:**
- EUCLID AVE IMPROVEMENTS - PHASE 1 COMPLETED SUMMER 2025
 - (X.XX)** SIGN NO.
 - 1 4" DOUBLE YELLOW LINE
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- NOTES:**
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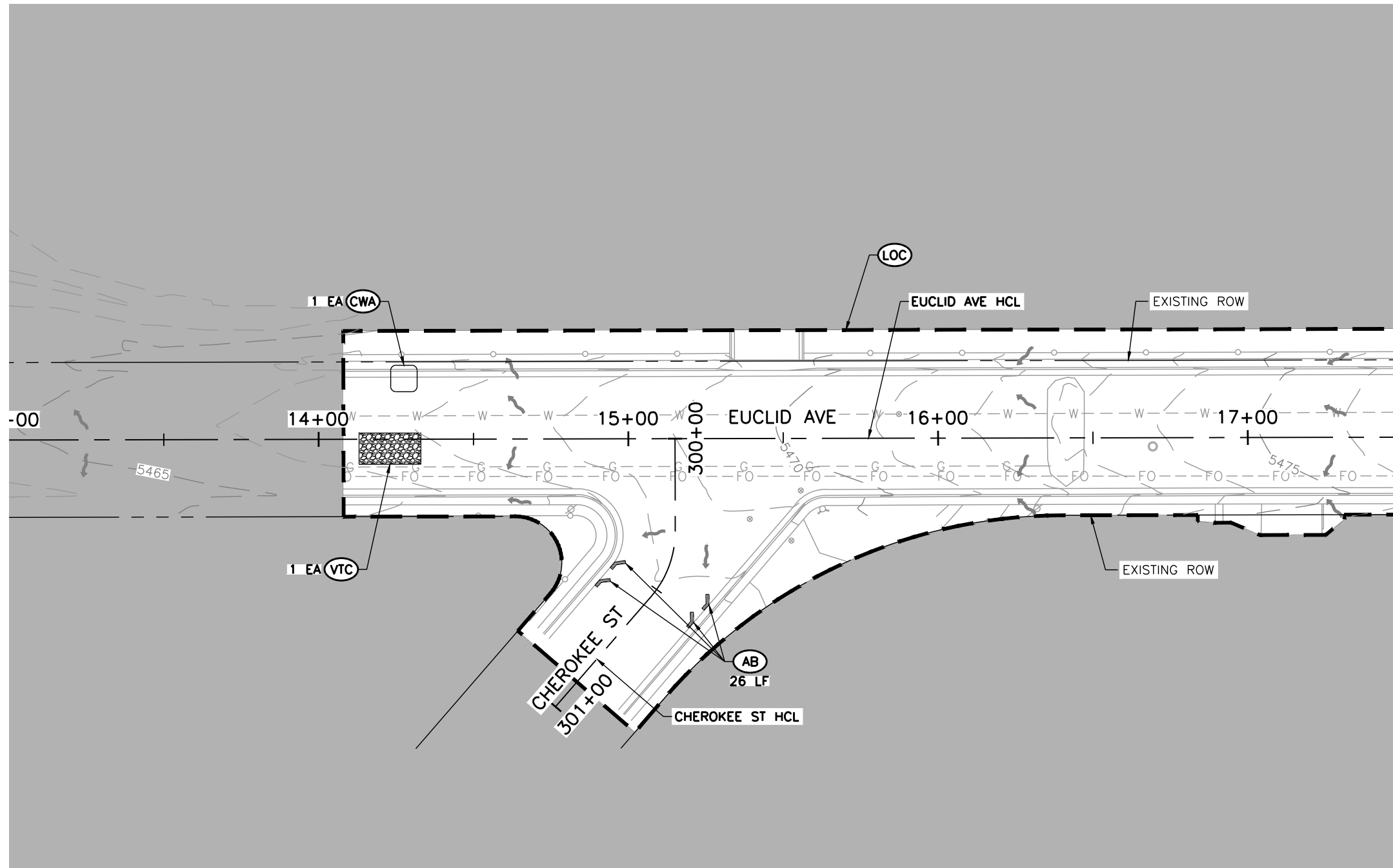
Public Works & Engineering
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 Littleton, Colorado 80120

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No. Revisions:
Revised:
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SIGNING AND PAVEMENT MARKING PLANS			
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Detailer:	LML	Numbers	
Sheet Subset:	S&S	Subset Sheet Number:	3 of 3

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26-07
Sheet Number: 60 of 73

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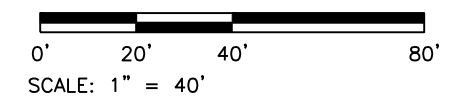


SEE SHEET 62
MATCHLINE STA 17+50

- LEGEND:**
- SC — SAWCUT LIMITS
 - LOC — LIMITS OF CONSTRUCTION
 - IP INLET PROTECTION
 - AB AGGREGATE BAG
 - VTC VEHICLE TRACKING CONTROL
 - CWA CONCRETE WASHOUT AREA
 - FLOW DIRECTION (EXISTING)
 - FLOW DIRECTION (PROPOSED)
 - AREA OUTSIDE OF LIMITS OF CONSTRUCTION

NOTES:

1. BMPS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL WORK WITH THE ENGINEER TO VERIFY THE INFORMATION SHOWN OR MODIFY AND FIELD-FIT AS NECESSARY.



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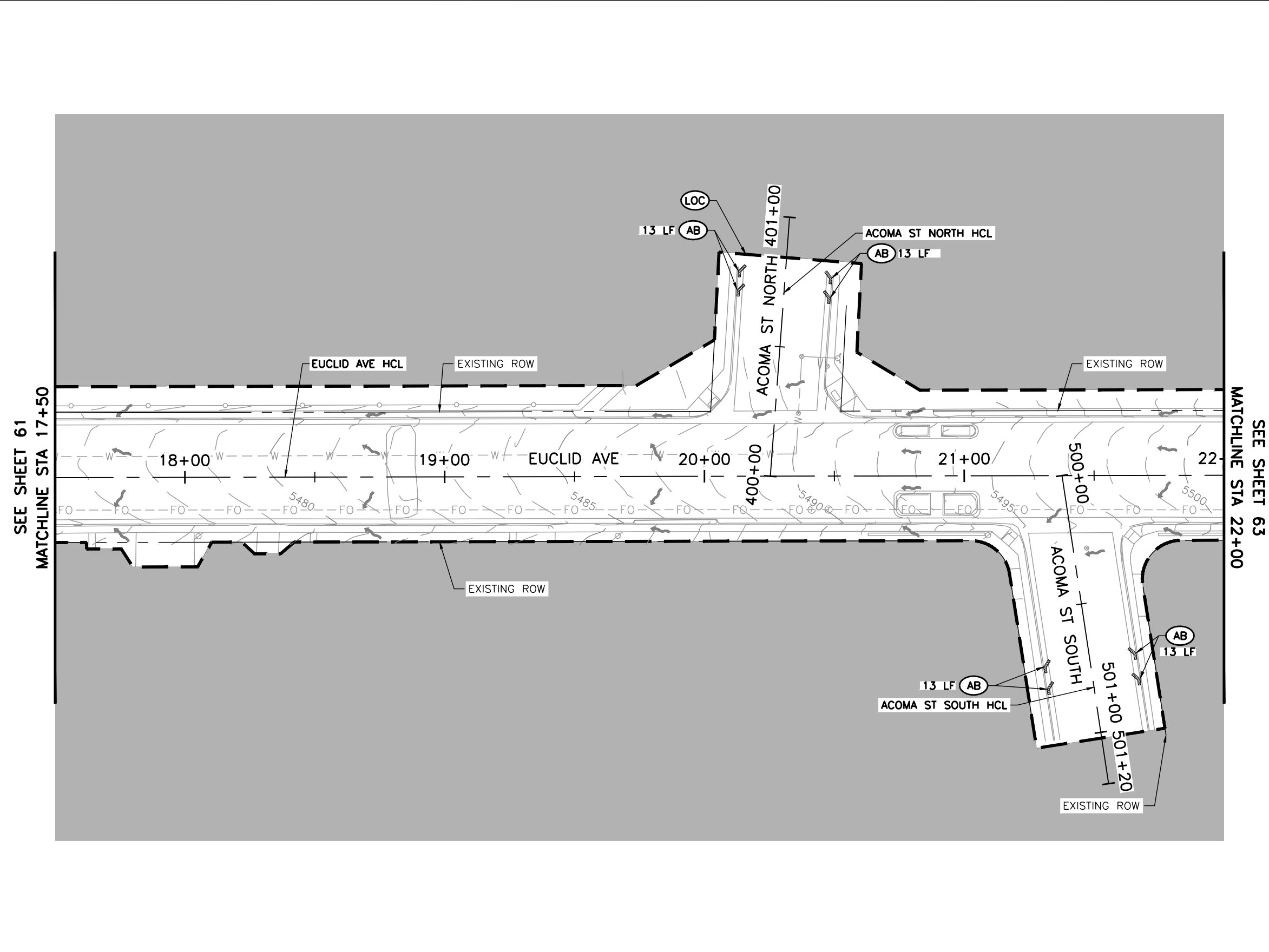
Littleton Colorado
 Public Works & Engineering
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Detailer:	LML		
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Project No.	26-07
Sheet Number:	61 of 73

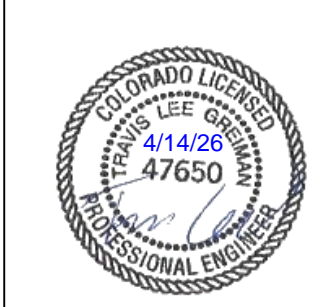
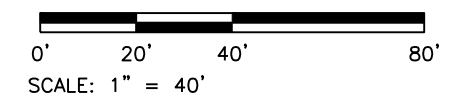
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- LEGEND:**
- SC — SAWCUT LIMITS
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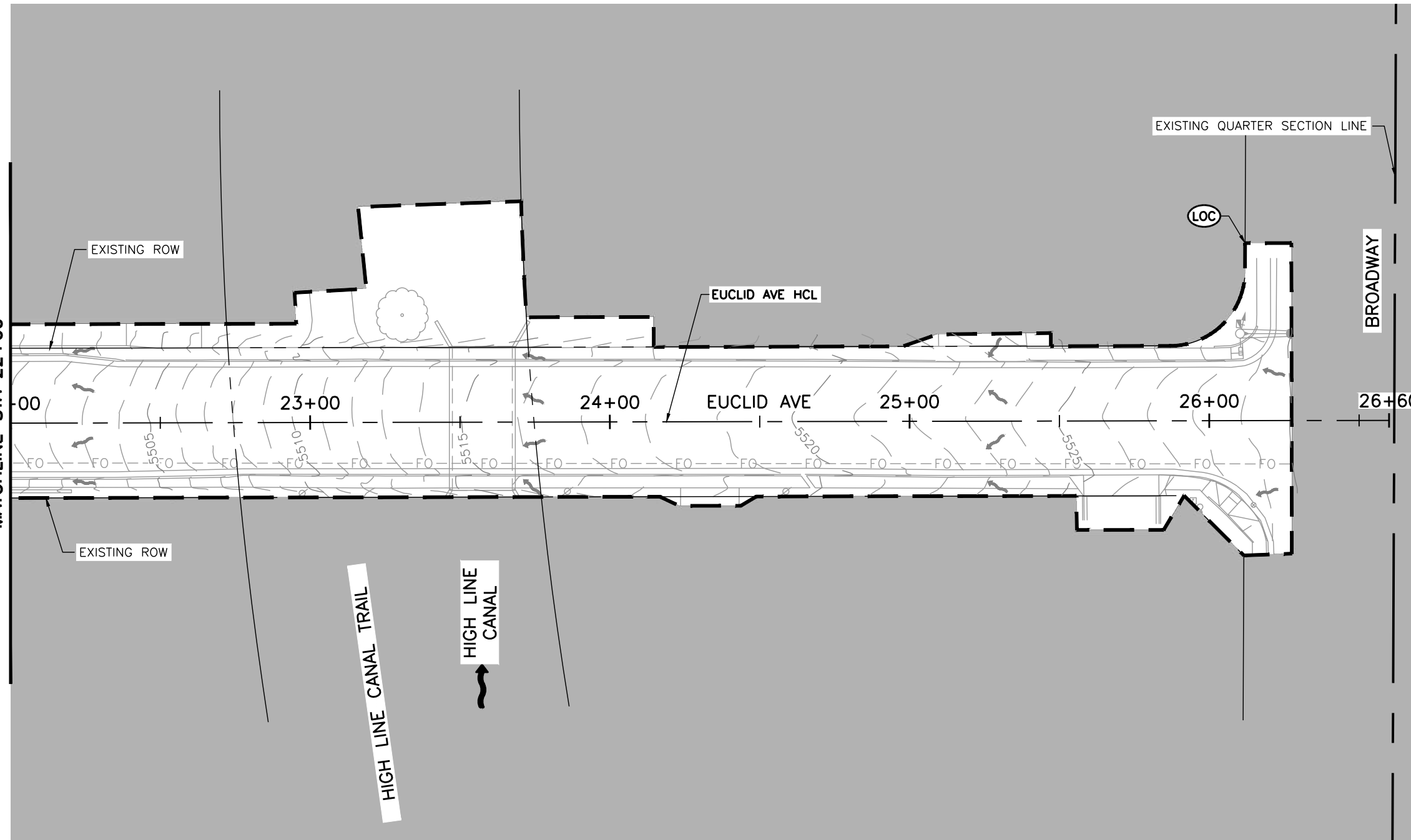
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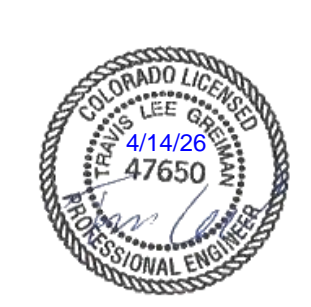
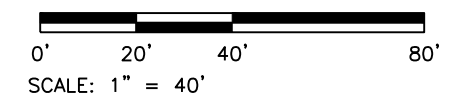
SEE SHEET 63
MATCHLINE STA 22+00



- LEGEND:**
- SC — SAWCUT LIMITS
 - LOC --- LIMITS OF CONSTRUCTION
 - IP INLET PROTECTION
 - AB AGGREGATE BAG
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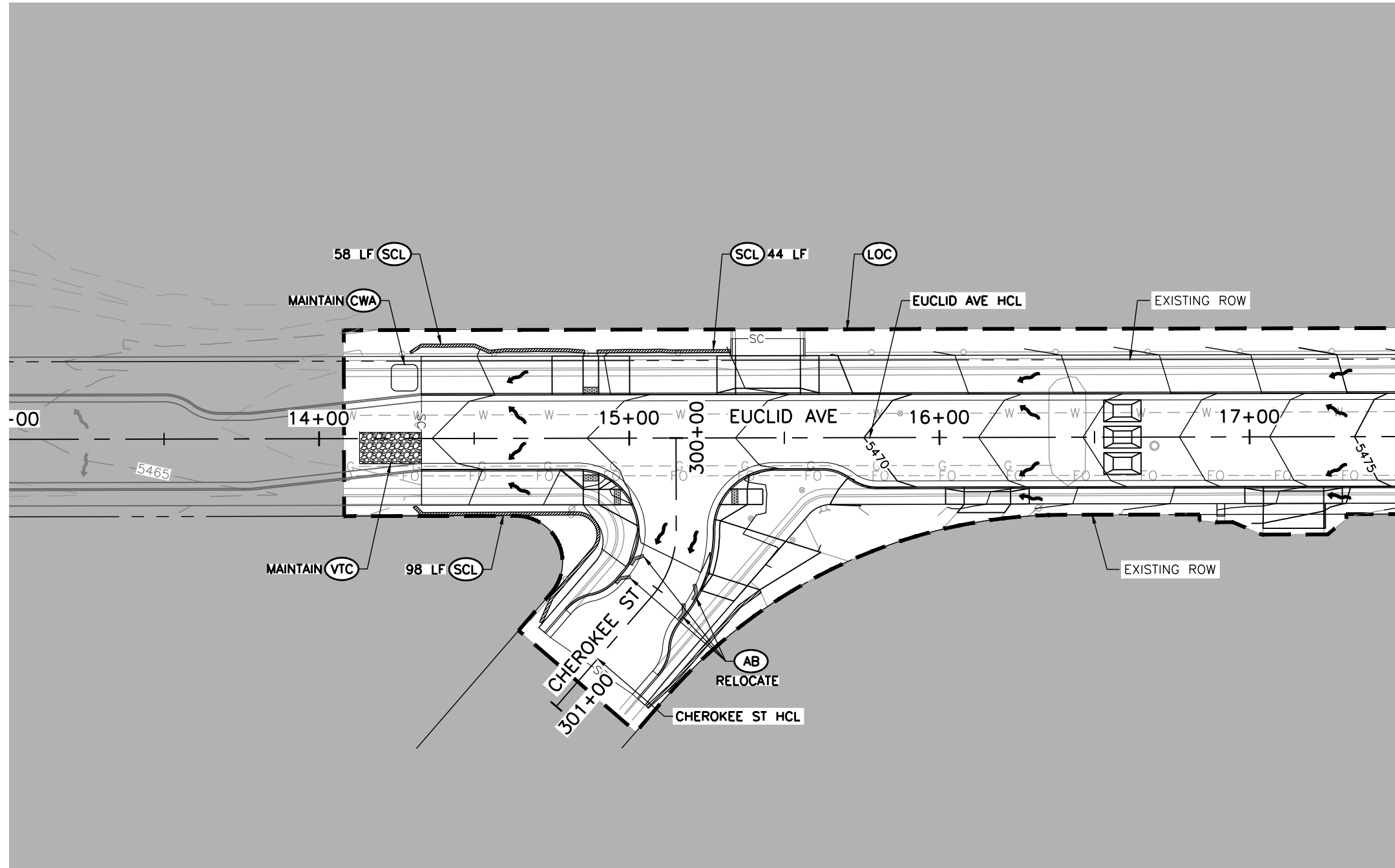
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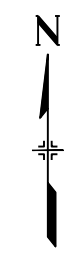
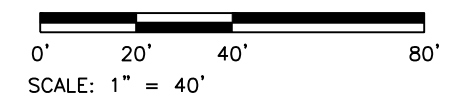
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- LEGEND:**
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 - LOC --- LIMITS OF CONSTRUCTION
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 - SCL SEDIMENT CONTROL LOG
 - VTC VEHICLE TRACKING CONTROL
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Sheet Revisions			
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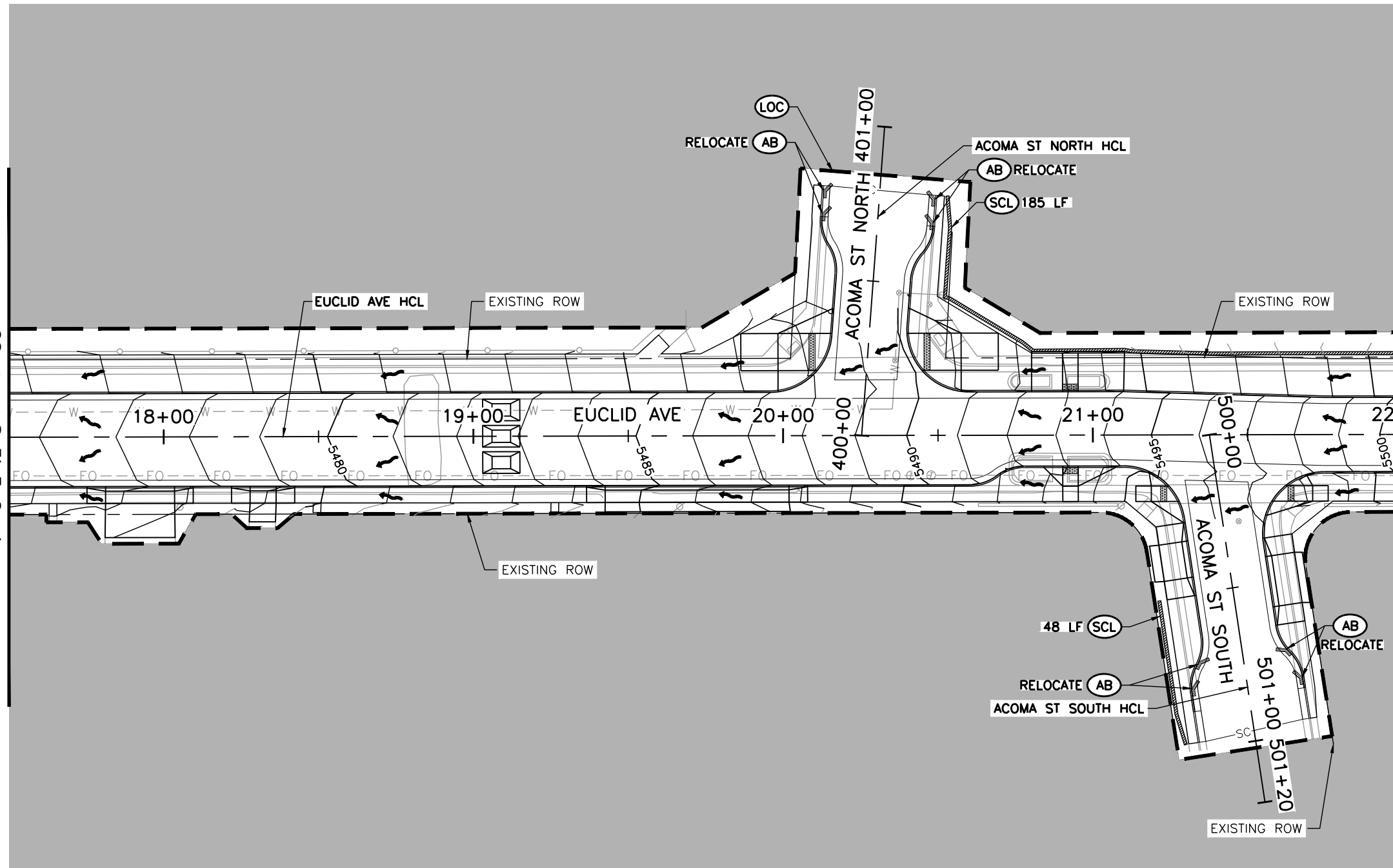
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SEE SHEET 64
MATCHLINE STA 17+50

MATCHLINE STA 22+00
SEE SHEET 66

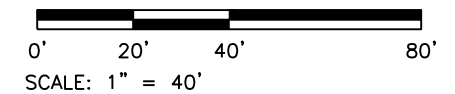


LEGEND:

- SC — SAWCUT LIMITS
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- SCL SEDIMENT CONTROL LOG
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- ↔ FLOW DIRECTION (PROPOSED)
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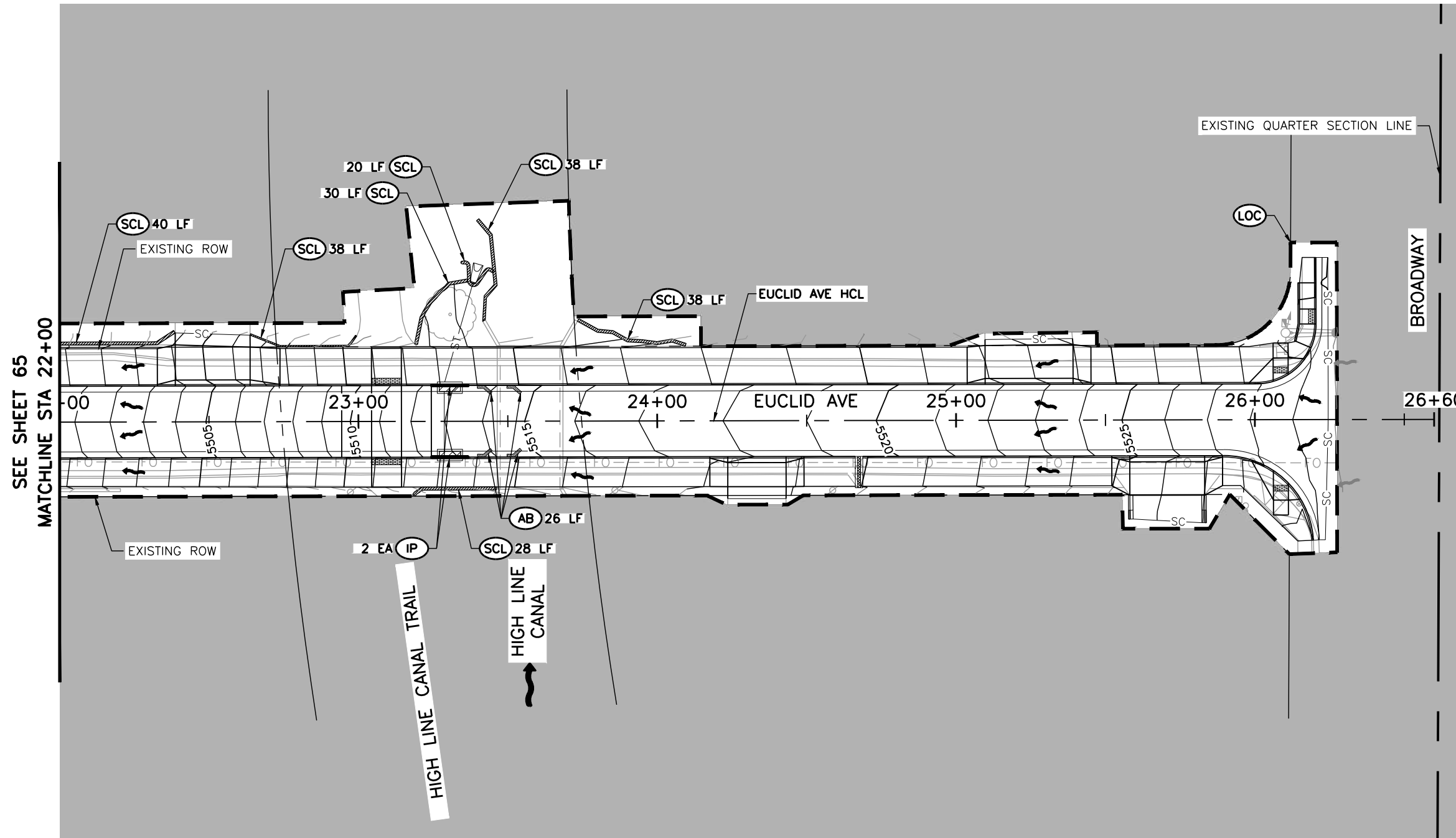
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 Littleton, Colorado 80120

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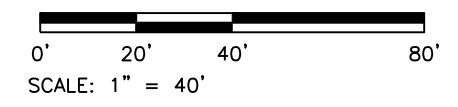
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- LEGEND:**
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 - (LOC) LIMITS OF CONSTRUCTION
 - █ (IP) INLET PROTECTION
 - ▨ (AB) AGGREGATE BAG
 - ▨ (SCL) SEDIMENT CONTROL LOG
 - ▨ (VTC) VEHICLE TRACKING CONTROL
 - (CWA) CONCRETE WASHOUT AREA
 - FLOW DIRECTION (EXISTING)
 - FLOW DIRECTION (PROPOSED)
 - AREA OUTSIDE OF LIMITS OF CONSTRUCTION

NOTES:

1. BMPS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL WORK WITH THE ENGINEER TO VERIFY THE INFORMATION SHOWN OR MODIFY AND FIELD-FIT AS NECESSARY.



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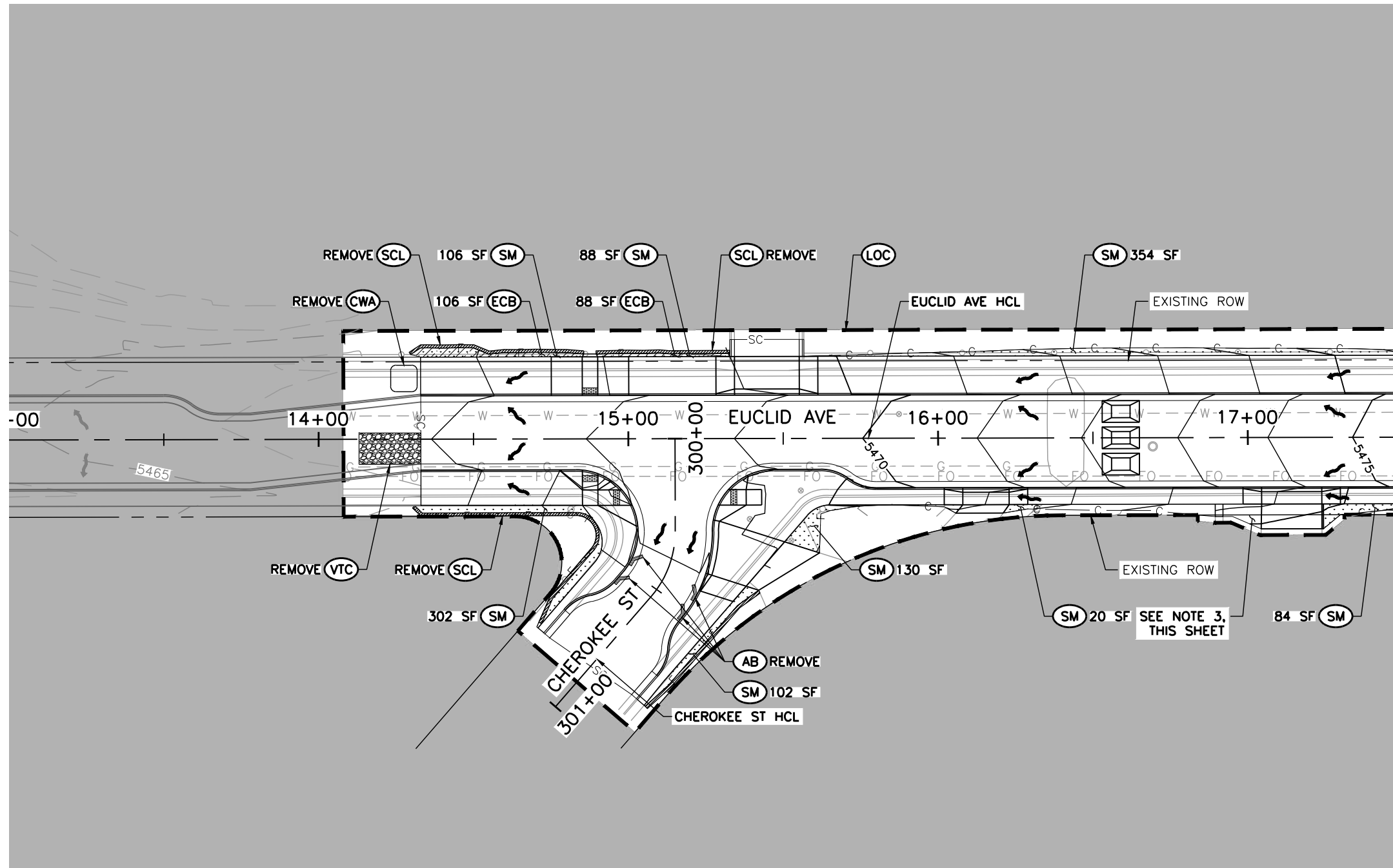
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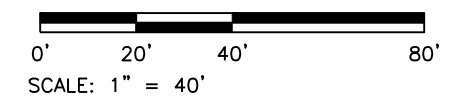
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NOTES:

1. EROSION CONTROL MANAGEMENT SHALL BE LUMP SUM. SEEDING, MULCHING, AND TOPSOIL SHALL NOT BE PAID FOR SEPARATELY, BUT SHALL BE INCLUDED IN THE COST OF WORK FOR LANDSCAPE RESTORATION AND SHALL BE LUMP SUM. BMPs SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL WORK WITH THE ENGINEER TO VERIFY THE INFORMATION SHOWN OR MODIFY AND FIELD-FIT AS NECESSARY.
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3. REMOVE EXISTING STONE. ADD EMBANKMENT MATERIAL OR EXCAVATE AS NEEDED. REPLACE STONE.



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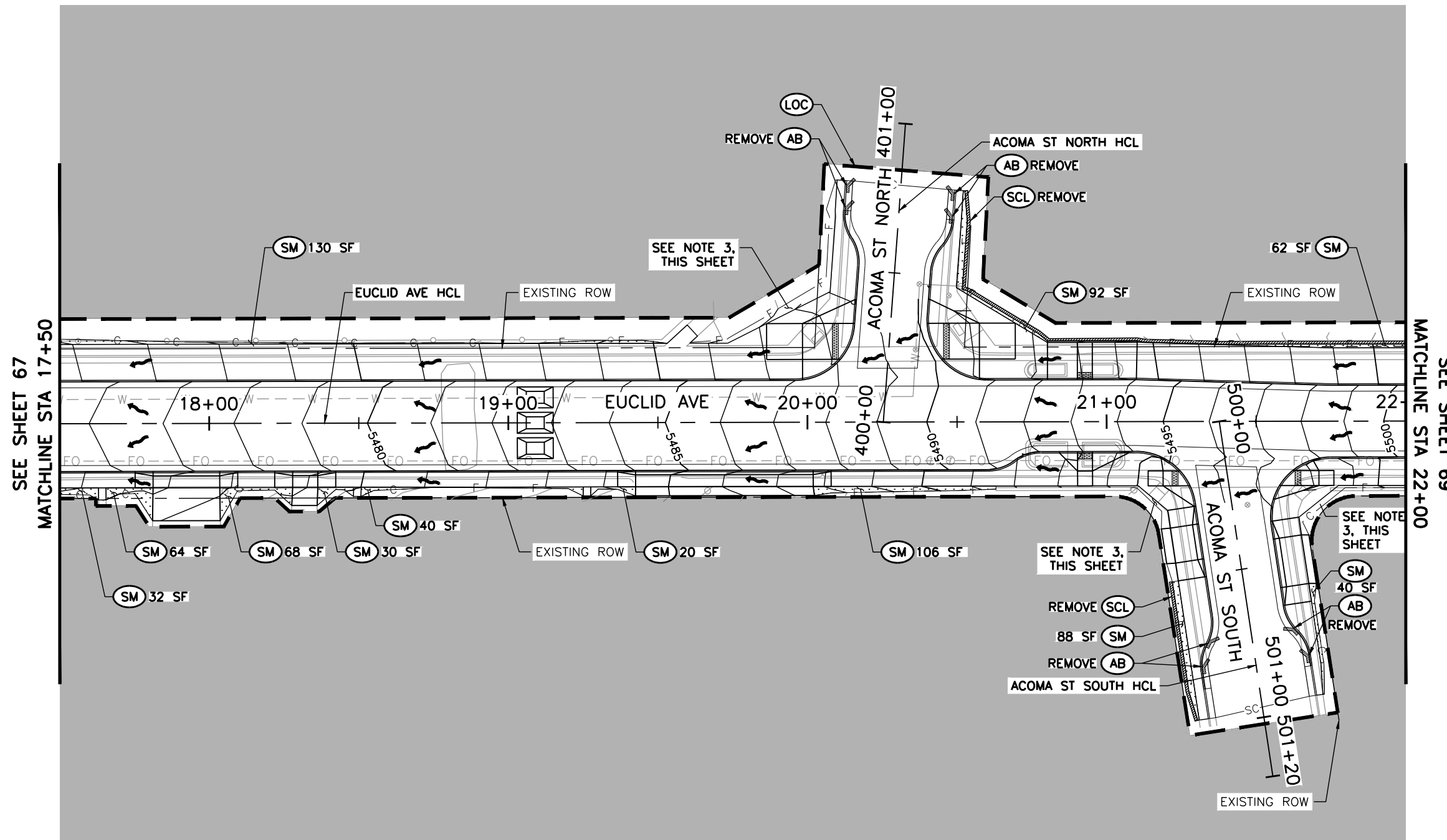
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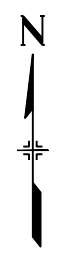
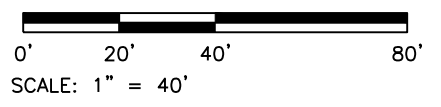


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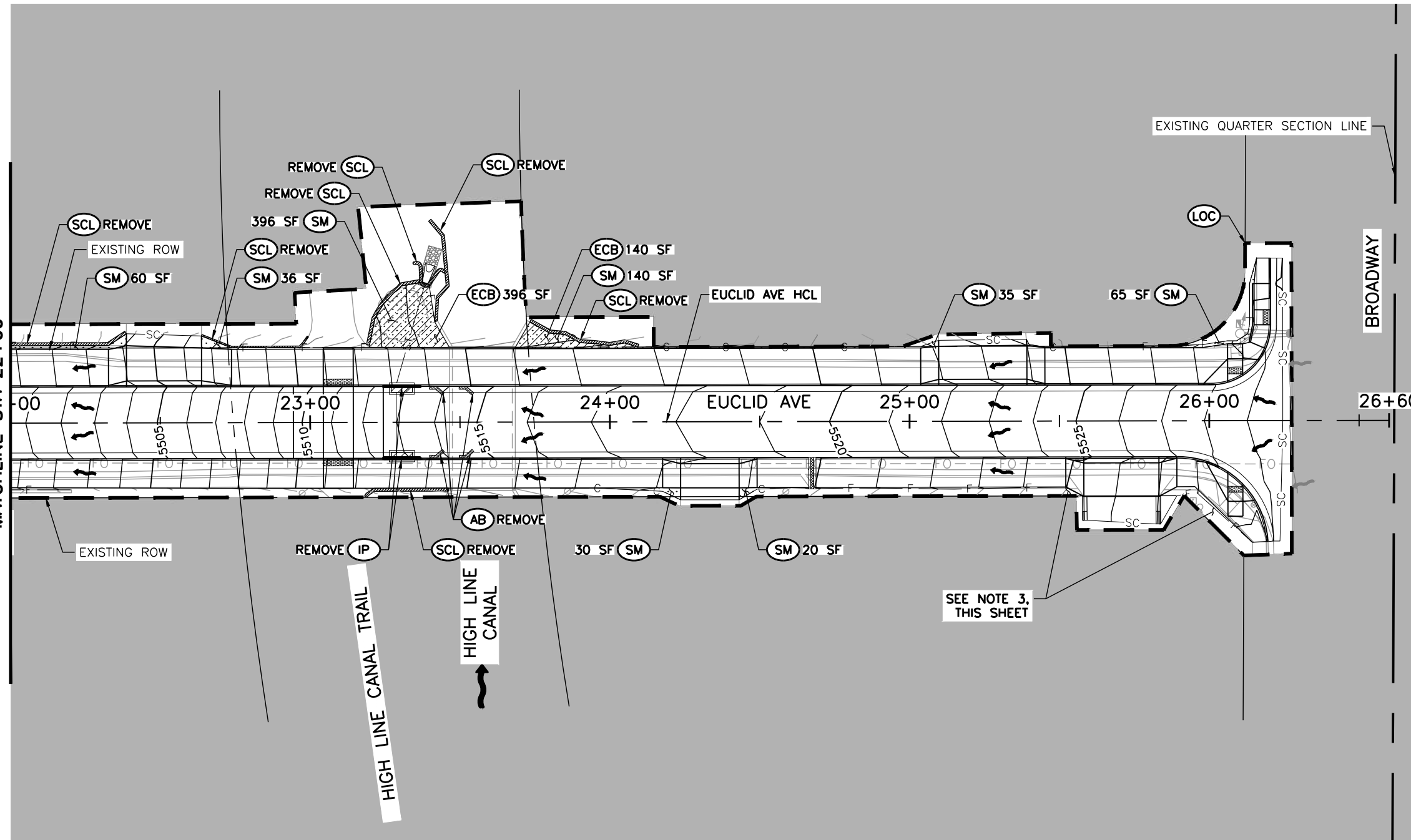
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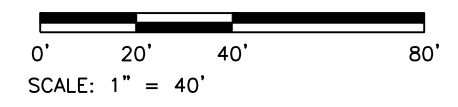


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3. REMOVE EXISTING STONE. ADD EMBANKMENT MATERIAL OR EXCAVATE AS NEEDED. REPLACE STONE.



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NOTE: CONTRACTOR SHALL PROVIDE RESIDENTIAL ACCESS USING AGGREGATE BASE COURSE (CLASS 6) ADJACENT TO EXISTING DRIVEWAYS. PAYMENT WILL BE MADE UNDER THE FORCE ACCOUNT AT THE UNIT PRICE FOR AGGREGATE BASE COURSE (CLASS 6). WORK SHALL INCLUDE PLACEMENT, SHAPING, COMPACTION, MAINTENANCE, OR REMOVAL OF THE TEMPORARY RESIDENTIAL ACCESS.

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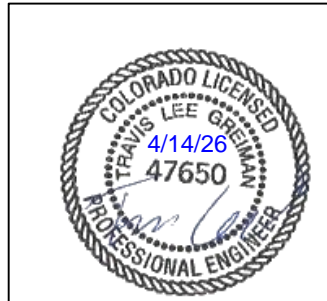
- WORK AREA - PHASE 1
- WORK AREA - PHASE 2

PHASE 1:

1. SAWCUT AND REMOVE EXISTING CURB RAMPS, CURB AND GUTTER, SIDEWALKS SECTIONS, AND DRIVEWAY SECTIONS ON THE SOUTH SIDE OF EUCLID AVE (BETWEEN CHEROKEE ST AND BROADWAY).
2. SAWCUT AND REMOVE EXISTING PAVEMENT ON THE SOUTH SIDE OF EUCLID AVE BETWEEN EXISTING CURB AND CUTTER AND THE PROPOSED EUCLID AVE HCL (BETWEEN CHEROKEE ST AND BROADWAY).
3. INSTALL STORM SEWER LATERAL LINE AND INLET ON THE SOUTH SIDE OF THE ROADWAY.
4. CONSTRUCT NEW CURB RAMPS, CURB AND GUTTER, SIDEWALK SECTIONS AND DRIVEWAY SECTIONS ON THE SOUTH SIDE OF EUCLID AVE (BETWEEN CHEROKEE ST AND BROADWAY). DURING CONSTRUCTION ALLOW ENTRY TO ALL PROPERTIES UNLESS THERE IS CURRENT CONCRETE WORK BEING PERFORMED.
5. CONSTRUCT ROADWAY PAVEMENT, RAISED PEDESTRIAN CROSSINGS, AND SPEED CUSHIONS BETWEEN PROPOSED CURB AND GUTTER AND PROPOSED EUCLID AVE HCL (BETWEEN CHEROKEE ST AND BROADWAY).

PHASE 2:

1. SAWCUT AND REMOVE EXISTING CURB RAMPS, CURB AND GUTTER, SIDEWALKS SECTIONS, AND DRIVEWAY SECTIONS ON THE NORTH SIDE OF EUCLID AVE (BETWEEN CHEROKEE ST AND BROADWAY).
2. SAWCUT AND REMOVE EXISTING PAVEMENT ON THE NORTH SIDE OF EUCLID AVE BETWEEN EXISTING CURB AND CUTTER AND THE PROPOSED EUCLID AVE HCL (BETWEEN CHEROKEE ST AND BROADWAY).
3. INSTALL STORM SEWER INLET ON THE NORTH SIDE OF EUCLID AVE AND THE OUTFALL INTO THE HIGH LINE CANAL.
4. CONSTRUCT NEW CURB RAMPS, CURB AND GUTTER, SIDEWALK SECTIONS AND DRIVEWAY SECTIONS ON THE NORTH SIDE OF EUCLID AVE (BETWEEN CHEROKEE ST AND BROADWAY). DURING CONSTRUCTION ALLOW ENTRY TO ALL PROPERTIES UNLESS THERE IS CURRENT CONCRETE WORK BEING PERFORMED.
5. CONSTRUCT ROADWAY PAVEMENT, RAISED PEDESTRIAN CROSSINGS, AND SPEED CUSHIONS BETWEEN PROPOSED CURB AND GUTTER AND PROPOSED EUCLID AVE HCL (BETWEEN CHEROKEE ST AND BROADWAY).
6. CENTER LANE LINES AND EDGE LANE LINES SHALL BE PLACED PER THE PAVEMENT MARKING TABULATIONS.
7. INSTALL THE TOP LIFT OF ASPHALT BETWEEN CHEROKEE ST AND BROADWAY.



PROPOSED PHASING FOR EUCLID AVE IMPROVEMENTS - PHASE 2

GENERAL NOTES:

1. DURING PHASE 1 CONSTRUCTION, THE WESTBOUND LANE SHALL BE MAINTAINED. UNLESS THE CONTRACTOR IS ACTIVELY CONSTRUCTING OR CURING CURB, GUTTER, SIDEWALK, OR DRIVEWAYS, RESIDENTIAL ACCESS SHALL BE MAINTAINED BETWEEN 5:00 PM AND 8:00 AM. DURING PERIODS WHERE DRIVEWAYS WILL NOT BE ACCESSIBLE, CONTRACTOR SHALL PROVIDE RESIDENTS THREE (3) DAYS ADVANCED NOTICE.
2. DURING PHASE 2 CONSTRUCTION, THE EASTBOUND LANE SHALL BE MAINTAINED.
3. ONE WAY TRAFFIC IS PERMITTED. TRAFFIC LANES SHALL BE A MINIMUM OF 10 FEET WIDE FOR EACH PHASE OF CONSTRUCTION.
4. SIDEWALKS SHALL BE CLOSED ON ONLY ONE SIDE OF THE STREET AT A TIME. WHEN A SIDEWALK IS CLOSED, "SIDEWALK CLOSED" SIGNS SHALL BE PLACED AT THE CLOSURE POINT AND "SIDEWALK CLOSED AHEAD CROSS HERE" OR "PEDESTRIAN DETOUR" SIGNS SHALL BE PLACED AT THE NEXT CROSSWALK PRIOR. WHERE THE NEXT CROSSWALK PRIOR IS AN UNREASONABLE DISTANCE AWAY, THE CONTRACTOR SHALL PROVIDE A TEMPORARY INTERIM CROSSING.
5. ACCESS TO THE HIGH LINE CANAL TRAIL SHALL BE PROVIDED AT ALL TIMES.
6. RESTORE LANDSCAPING TO ALL IMPACTED PROPERTIES OFF OF EUCLID AVE. LANDSCAPING SHALL BE RESTORED WITHIN SEVEN (7) DAYS AND DAMAGED IRRIGATION PIPES MUST BE REPAIRED WITHIN TWENTY-FOUR (24) HOURS.

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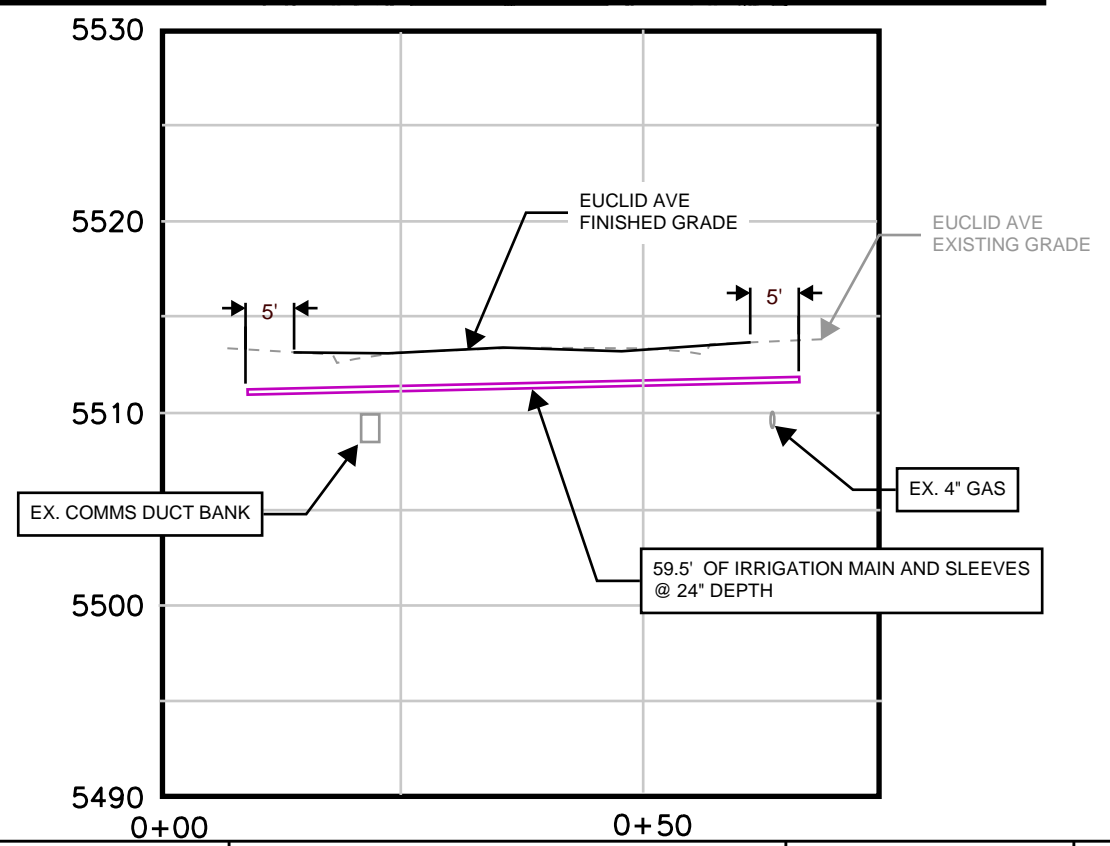
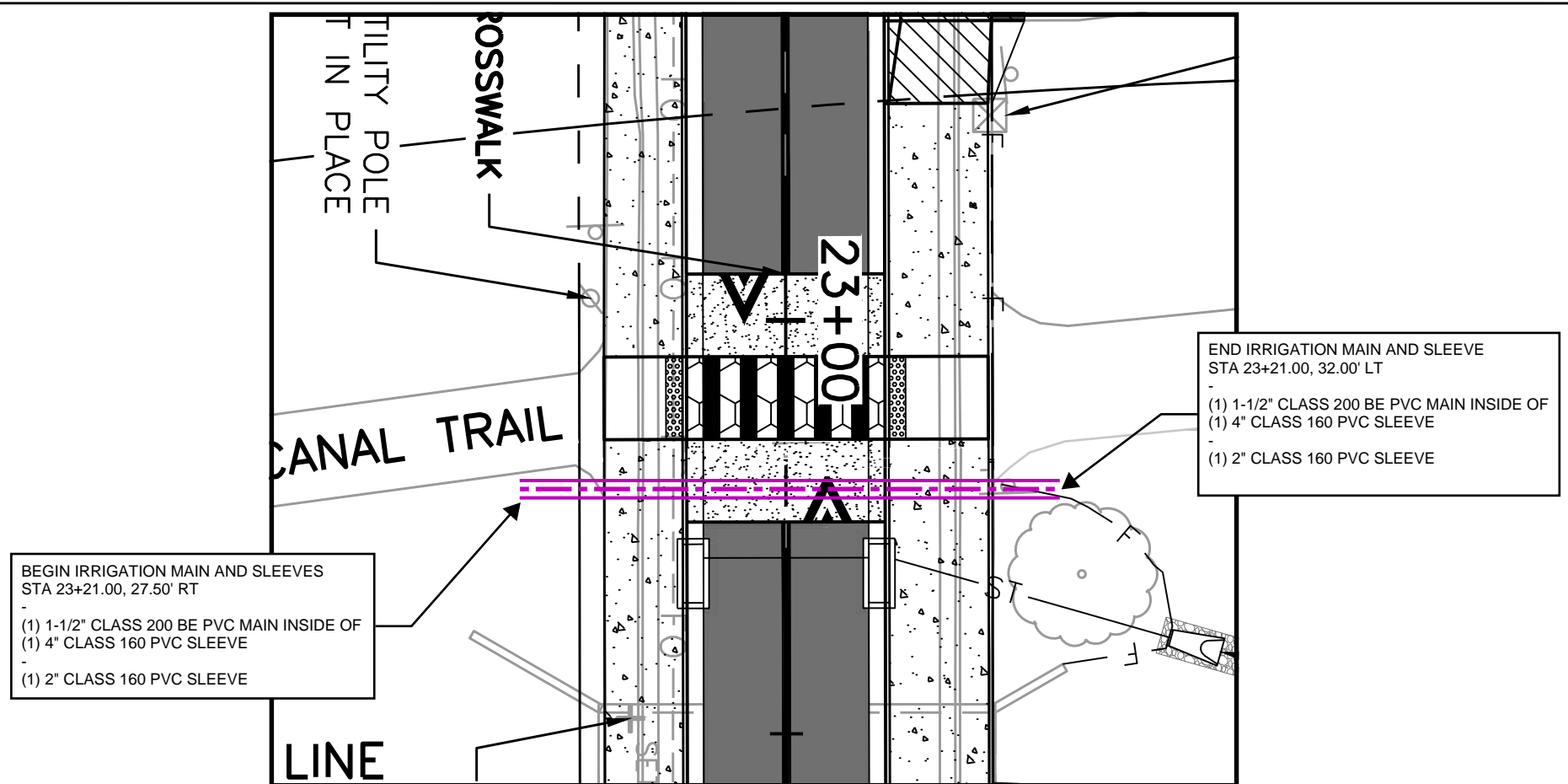
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IRRIGATION CONSTRUCTION NOTES

1. SLEEVING - ALL SLEEVING UNDER PAVED SURFACES SHOWN ON PLANS ARE TO BE INSTALLED BY CONTRACTOR UNLESS OTHERWISE NOTED. SLEEVING SHALL BE INSTALLED IN THE SIZES AND QUANTITIES SHOWN ON PLANS. ALL MAINLINE, CONTROL WIRES, AND DRIP LINES UNDER PAVED SURFACES ARE TO BE INSTALLED IN SLEEVING.
2. CONTROL WIRE SHALL BE INCLUDED IN THE PRICE OF WORK AND SHALL NOT BE PAID SEPERATELY.
3. CITY OF LITTLETON DIVISION OF GROUNDS, OPEN SPACE, AND NATURAL RESOURCES SHALL BE CONTACTED 48 HOURS PRIOR TO THE START OF IRRIGATION INSTALLATION. CITY OF LITTLETON DIVISION OF GROUNDS, OPEN SPACE, AND NATURAL RESOURCES INSPECTION APPROVAL IS REQUIRED PRIOR TO BACKFILL OF IRRIGATION LINES.

IRRIGATION SCHEDULE				
SYMBOL	MANUFACTURER	MODEL NO.	DESCRIPTION	DETAIL NO.
		CLASS 200 BE - 2 1/2" # SMALLER	PVC MAINLINE	9
		CLASS 160	PVC SLEEVING	10

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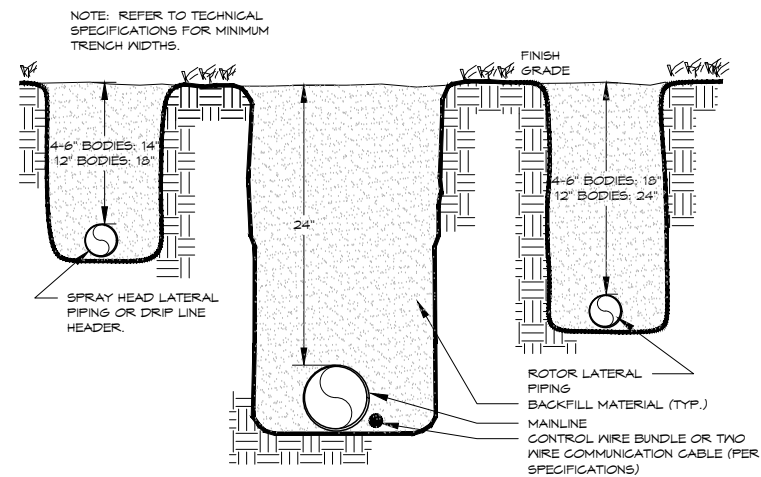
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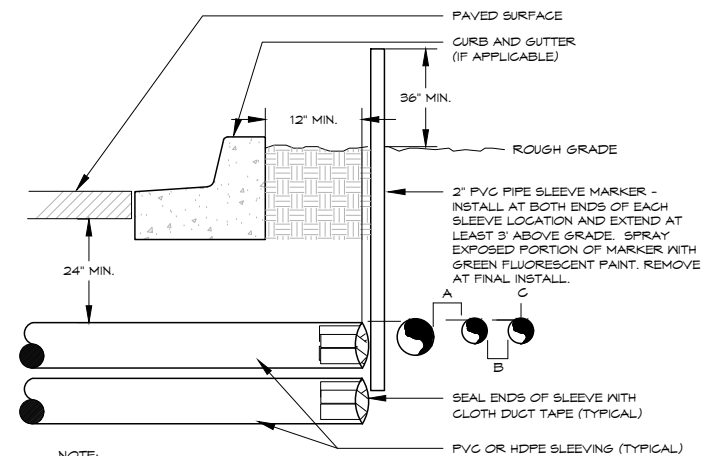
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TRENCH
24" MAINLINE

9



- NOTE:
- ALL SLEEVE MATERIAL PER IRRIGATION SCHEDULE, SIZE AS NOTED ON PLAN.
 - INSTALL SLEEVES IN SIDE-BY-SIDE CONFIGURATION WHERE MULTIPLE SLEEVES ARE TO BE INSTALLED. SPACE SLEEVES 4" TO 6" APART. DO NOT STACK SLEEVES VERTICALLY.
 - CONTRACTOR TO COORDINATE WITH FLATWORK INSTALLER TO BRAND A "V" IN SIDEWALK OR CURB AT BOTH ENDS OF SLEEVE CROSSING.
 - SLEEVING THROUGH OR UNDER RETAINING WALLS, PLANTER WALLS, POND LINING, OR WATER QUALITY AREAS SHALL BE COORDINATED WITH CIVIL WORK AT APPROXIMATE LOCATIONS SHOWN.
 - AN INDIVIDUAL SLEEVE SHALL CONTAIN NO MORE THAN ONE PIPE OR WIRE BUNDLE.

IRRIGATION SLEEVING
TYPICAL

10

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Exhibit F

PROJECT SPECIAL PROVISIONS MODIFICATIONS TO COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS

The technical specifications for this project shall be the Colorado Department of Transportation 2025 Standard Specifications for Road and Bridge Construction and the most current version of the Metropolitan Government Pavement Engineers Council (MGPEC) standards. The following special provisions supplement or modify the Standard Specifications and Supplemental Specifications and take precedence over the Standard Specifications, Supplemental Specifications, and plans.

PROJECT SPECIAL PROVISIONS

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REVISION OF SECTION 105 CONTROL OF WORK	5
REVISION OF SECTION 107 LEGAL RELATIONS & RESPONSIBILITY TO THE PUBLIC.....	7
REVISION OF SECTION 108 PROSECUTION AND PROGRESS.....	10
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NOTICE TO BIDDERS

Pursuant to subsections 102.04 and 102.05, it is recommended that proposers on this project review the work site and plan details prior to submitting a proposal.

All inquiries and questions must be submitted in writing to the City of Littleton Procurement Specialist (IFB Designated Contact). From the date of issuance of the IFB through completion of the selection process, any proposer who contacts City employees other than the Designated Contact may be disqualified from further participation in the selection process, at the City's sole discretion. This supersedes any other subsections containing conflicting instructions regarding who to contact during the bid process.

The City will not be responsible for any oral instructions or interpretations given by or to anyone. It shall be conclusively presumed that the proposer did, before submitting a proposal, closely review the IFB, all exhibits/attachments, and other items relevant to the IFB.

The above-referenced individual or their designee are the only representatives of the City with authority to provide any information, clarification, or interpretation regarding the plans, specifications, and any other contract documents or requirements.

COMMENCEMENT AND COMPLETION OF WORK

The Contractor shall commence work under the Contract within seven (7) calendar days after date of the "Notice to Proceed" work shall be completed within **75 Calendar Days**. Minimum Salient features to be shown (for each bid schedule) on the Contractor's Progress Schedule are:

- 1) ROW Use Permit (Littleton)
- 2) Traffic control setup per the approved MHT's for each phase of work.
- 3) Public Notification
- 4) Erosion Control
- 5) Removals
- 6) Earthwork/Subgrade
- 7) Curb & Gutter, Sidewalks, and Curb Ramps
- 8) Asphalt Paving, Concrete Paving
- 9) Storm Sewer Pipe and Inlets
- 10) Striping
- 11) Clean Up
- 12) Landscape/Irrigation Repair (as necessary).
- 13) Final Acceptance

The intersection of Euclid Avenue and Cherokee Street shall be fully opened to traffic by August 7th, 2026. All remaining work shall be completed prior to **the expiration of contract time unless previously approved by the City of Littleton.** Completion shall include all pavement marking installation.

**REVISION OF SECTION 101
GENERAL PROVISIONS**

SECTION 101 of the Standard Specifications is hereby revised for this project as follows:

101 DEFINITIONS & TERMS

Technical Specifications related to construction materials and methods for the work embraced under this Contract shall consist of the Colorado Department of Transportation *Standard Specifications for Road and Bridge Construction* dated 2025.

Certain terms utilized in the Specifications referred to in the paragraph above shall be interpreted to have different meaning within the scope of this Contract. A summary of redefinitions follows:

- Subsection 101.28 “Department” shall mean the City of Littleton, Colorado.
- Subsection 101.29 “Chief Engineer” shall mean the City Engineer, Littleton, Colorado, or designated representative.
- Subsection 101.39 “Laboratory” shall mean Littleton, Colorado or their designated representative.
- Subsection 101.51 “Project Engineer” or “Project Manager” shall mean the City Engineer, Littleton, Colorado, or their designated representative.
- Subsection 101.76 “State” shall mean Littleton, Colorado (where applicable).

REVISION OF SECTION 105 CONTROL OF WORK

SECTION 105 of the Standard Specifications is hereby revised for this project as follows:

105.13(a) CONSTRUCTION STAKES, LINES, AND GRADES

Shall include the following:

Roadway staking will include stakes for; fence, centerline, slopes, grades (bluetops), curb and gutter, sidewalk, and median barrier. Grade stakes for finished subgrade will not be set until the grade established by the slope stakes is constructed to within 0.3 foot of the finished subgrade elevation.

Bluetops shall be provided at the centerline and edge of paving for the roadway at 50-foot intervals and 25-foot intervals withing 100 feet of intersections prior to grade verification and paving.

105.17 REMOVAL OF UNACCEPTABLE WORK AND UNAUTHORIZED WORK

Shall include the following:

Contractor will verify all items to be removed and replaced with the Engineer. The Contractor shall verify, with the Engineer, any marked locations not included within the contract documents prior to any removal activities. Any removal NOT listed in the contract or otherwise verified and approved by the Engineer will be at the Contractor's expense.

Existing condition or damage to any adjacent infrastructure and/or structures shall be the responsibility of the Contractor to fully document prior to any work. The Contractor shall notify the Engineer of any existing damage and to confirm the various locations, and their limits, of existing damage prior to any work.

105.19 MAINTENANCE DURING CONSTRUCTION

Shall include the following:

The Contractor shall pave the roadway surface within seven (7) calendar days of milling operations. If traffic is to be placed on a milled surface the Contractor shall adequately protect all utility appurtenances or vertical milled faces by placing a wedge of asphalt or other means deemed acceptable to the Engineer. All costs associated with temporary asphalt, pavement markings or additional signage shall not be measured and paid for separately but shall be included in the work.

**REVISION OF SECTION 106
CONFORMITY TO THE CONTRACT OF HOT MIX ASPHALT**

Section 106 of the Standard Special Provisions is hereby revised for this project as follows:

Subsection 106.05 shall include the following:

For this project, Contractor process control testing of hot mix asphalt is mandatory and shall be completed in accordance with Table 106-1.

**REVISION OF SECTION 107
LEGAL RELATIONS & RESPONSIBILITY TO THE PUBLIC**

SECTION 107 of the Standard Specifications is hereby revised for this project as follows:

107.02 PERMITS, LICENSES, AND TAXES

Shall include the following:

Unless otherwise specified, the Contractor shall procure all required permits and licenses; pay all charges, fees, and taxes, including permits procured for this project by others; and give all notices necessary and incidental to the due and lawful prosecution of the work. The costs of these permits will not be paid for separately but shall be included in the work.

Prior to beginning work, the Contractor shall furnish the Engineer with a written list of all permits required for the proper completion of the contract. The list shall clearly identify the types of permits that must be obtained before work on any particular phase or phases of work can be started. Copies of the fully executed permits shall be furnished to the Engineer upon request.

107.07 PUBLIC CONVENIENCE AND SAFETY

Shall include the following:

The Contractor shall provide the following services on an ongoing basis throughout the duration of the project:

- (a) A contact person for the project shall be designated by the Contractor at the preconstruction conference. This individual shall be primarily responsible for maintaining communications with the Engineer and impacted residents/businesses; provide information on a regular basis to private individuals, local organizations interested in the project and the affected agencies.
- (b) The following agencies shall be coordinated with on an ongoing basis:

City of Littleton

South Metro Fire and Rescue

City of Littleton Police Department

Adjacent Businesses/Residents

RTD

Littleton Public Schools

- (c) A letter of introduction and notice of work shall be delivered to all affected landowners and tenants at least five (5) business days and no more than ten (10) business days prior to

mobilization and the commencement of work for each project site.

(d) Updates shall be on a weekly basis after mobilization and one (1) week prior to any major traffic switches.

(e) The letter shall include the following as a minimum:

Contractor – Name, Address, Direct Phone Number

Field Superintendent – Name, Mobile Phone Number

Schedule (commencement date and duration) and description of work. Description of work shall include approximate length of time for spraying tack and paving operations restricting use of roadway.

Information regarding private property and repair procedures

(f) The contractor shall notify each adjacent property owner in writing a minimum of forty-eight (48) hours prior to the commencement of construction activities at the corresponding address or location.

(g) Payment for the above requirements will not be made separately but shall be included in the work.

107.10 BARRICADES AND SIGNS

Shall include the following:

Construction traffic control signs or devices not in use shall be removed from the roadway and pedestrian walkway (sidewalk & trails). Laying the sign down in a horizontal position or turning the sign parallel is not permitted on the sidewalk and/or within private property such as residential yards.

Variable Message Boards (VMB) shall contain the following information at a minimum: type of work, the scheduled week of work, and the phrase “ALTERNATE ROUTES ARE ADVISED”.

Any missing or defaced signs shall be replaced within twenty-four (24) hours.

"NO PARKING" signs shall be placed a minimum of forty-eight (48) hours in advance of any construction activities on all streets to be resurfaced where on-street parking is permitted. No Parking signs shall specify the date range and time where no parking will be allowed due to construction activities.

“Bump” and “Milled Surface” signs, or approved equivalents, shall be posted in sufficient number and proper locations to adequately notify the public of such roadway conditions.

Any other signs as required by the Traffic Engineer shall be placed.

When surface treatment work is performed by contract, Contractor shall supply and maintain all signs at Contractor's expense.

For locations that do not have sufficient right-of-way available to store the sign(s) or device(s), they must be picked up or moved to an approved storage area. Signs that are placed in the medians must be dismantled, laid down, or relocated to the approved storage area.

107.12 PROTECTION AND RESTORATION OF PROPERTY AND LANDSCAPE *shall be revised to include the following:*

- (a) The contractor shall replace and/or repair all damaged landscaping within seven (7) days of completion of the adjacent removal and replacement.
- (b) Sod damage resulting from concrete removal and replacement shall be cleanly cut to the limits of the damaged area(s) and parallel to the sidewalk or curb and gutter and replaced at a minimum removal and replacement width of 18" wide for the full length of the damaged area(s).
- (c) Landscape rock, mulch and other miscellaneous landscaping and all other related materials shall be cleared and replaced in a condition equal to or better than before construction.
- (d) The contractor shall repair and/or replace any damaged irrigation pipes. The repairs or replacement must be completed within twenty-four (24) hours of the damage.
- (e) Continuous failure to complete repair in the time specified above may result in the suspension of additional work until the specified repairs have been made and are determined to be satisfactory by the Engineer. Additional contract time will not be given for such suspensions.

Unless otherwise specified in the Contract, all work listed above will not be measured and paid for separately but shall be included in the work.

**REVISION OF SECTION 108
PROSECUTION AND PROGRESS**

SECTION 108 of the Standard Specifications is here by revised for this project as follows:

108.03 SCHEDULE

Shall include the following:

The contractor shall provide a construction schedule at the pre-construction meeting for review by the Engineer.

108.05 LIMITATION OF OPERATIONS

Shall include the following:

In residential areas, the Contractor shall limit hours of operation to **7:00 a.m. to 7:00 p.m. Monday thru Friday, 9:00 AM to 5:00 PM Saturday, and no work on Sunday** or as otherwise approved in writing by the Engineer.

In non-residential areas, the Contractor shall limit hours of operation to **7:00 a.m. to 7:00 p.m. Monday thru Sunday** or as approved in writing by the Engineer.

108.09 FAILURE TO COMPLETE WORK ON TIME

Shall include the following:

A daily charge will be made against the Contractor for each calendar day that work is performed outside the working times listed in 108.09, Limitation of Operations. A penalty of \$500 per occurrence will be applied as Liquidated Damages.

**REVISION OF SECTION 202
REMOVAL OF STRUCTURES AND OBSTRUCTIONS**

SECTION 202 of the Standard Specifications is hereby revised for this project as follows:

202.12 BASIS OF PAYMENT *shall be revised to include the following:*

Payment will be made under:

<u>Pay Item</u>	<u>Pay Unit</u>
Removal of Tree	Each
Removal of Chase Drain	Each
Removal of Inlet	Each
Removal of Delineator	Each
Removal of Concrete Median Cover Material	SY
Removal of Sidewalk	SY
Removal of Gutter	LF
Removal of Curb and Gutter	LF
Removal of Curb, Gutter, and Sidewalk	LF
Removal of Concrete Curb Ramp	SY
Removal of Concrete Pavement	SY
Removal of Asphalt Mat	SY
Removal of Asphalt Mat (Special)	SY
Removal of Ground Sign	Each
Removal of Sign Panel	Each

When the Contract does not include pay items for removal of a particular type of structure or obstruction, the removal will not be paid for separately but shall be included in the work.

Payment for Removal of Pipe, Removal of Catch Drain, and Removal of Manhole shall include necessary excavation, removal of the structures, lateral pipes (if any) and valve removal (if any), and capping (as necessary).

**REVISION OF SECTION 203
EXCAVATION AND EMBANKMENT**

SECTION 203 of the Standard Specifications is hereby revised for this project as follows:

203.02 EXCAVATION

Subsection 203.02 (c) is hereby deleted and replaced with the following:

- (c) Material that is free of organics but has excessive moisture shall not be classified as unsuitable for subgrade due to the presence of excessive water. It shall be the Contractor's responsibility to satisfy the moisture conditions specified in the Contract Documents for subgrade. The classification of material as unsuitable for subgrade shall be made by the Engineer.

203.13 METHOD OF MEASUREMENT *shall be revised to include the following:*

Proof rolling will not be measured and paid for separately but shall be included in the work as required.

203.12 BASIS OF PAYMENT *shall be revised to include the following:*

Any additional excavation and backfill made by the Contractor below the approved subgrade elevation, without the prior acceptance of the Engineer will be at the responsibility and expense of the Contractor. No additional payment will be made.

**REVISION OF SECTION 208
EROSION CONTROL**

Section 208 of the Standard Specifications is hereby revised for this project as follows:

208.12 BASIS OF PAYMENT *shall be revised to include the following:*

Payment will be made under:

<u>Pay Item</u>	<u>Pay Unit</u>
Erosion Log Type 2 (12 Inch)	LF
Aggregate Bag	LF
Concrete Washout Area	Each
Storm Drain Inlet Protection (Type II)	Each
Vehicle Tracking Control	Each
Erosion Control Management	LS

Topsoil, native seeding, sod and mulching will be paid for under their respective sections.

REVISION OF SECTION 210 RESET STRUCTURES

Section 210 of the Standard Specifications is hereby revised for this project as follows:

Subsection 210.02 shall include the following:

Any work performed by the Contractor on a utility facility is subject to inspection and approval by the owning utility company. The Contractor is responsible for coordinating inspection with the owning utility.

The Contractor must submit notice to the Project Manager of water service outages in accordance with Denver Water standards. The Contractor shall give a minimum of 30-day notice to the owning utility company before any work that will affect their facilities. The Contractor shall not operate any water valves without permission of the owning utility company.

All structures within pavement areas shall be recessed a minimum of a quarter inch to maximum of half inch below finish grade. Structures within sidewalk area shall have a pedestrian lid and flush with finish grade.

Structures within the roadway surface shall be adjusted prior to placement of the final lift of asphalt. Manhole ring and cover assemblies shall be adjusted to finish grade on reconstructs (includes up to 18" from top of cone section to finish grade). Manholes located within overlays will require grade adjustment rings that can be mechanically secured to the existing manhole ring. All materials shall be approved by the owning utility.

Temporary construction plates must be inspected prior to use on the project by the project inspector. All plates shall be sized for the manhole intended to be covered, shall have centering devices, and shall be traffic load rated.

Subsection 210.10 shall include the following:

Valve Box Assembly. "Replacement and/or adjustment of valve boxes" shall involve removal of the existing valve box riser assembly, or a portion thereof, and installation of a new valve box assembly, and raising or lowering the new assembly to match construction activity grade (elevation). Unless otherwise specified, all required materials shall be supplied by the Contractor. All materials used for this item shall be approved by the owning utility for use.

Valve Boxes located within overlays will require grade adjustment risers that can be mechanically secured to the existing valve top. "Drop in" adjusting rings will not be allowed. All materials shall be approved by the owning utility.

All utility valve boxes shall be identified, functional and accessible at all times.

When adjusting valve boxes, the box shall be cleaned of all foreign debris such that the operating nut of the valve is fully accessible to operate. The Work shall be subject to inspection by and approval of the owning utility and is incidental to the pay item for adjusting water valves.

Monument (Type 3A). Contractor shall comply with the requirements in Section 625.08.

210.13 BASIS OF PAYMENT *shall be revised to include the following:*

Payment will be made under:

Pay Item	Pay Unit
Reset Ground Sign	Each
Adjust Manhole	Each
Adjust Valve Box	Each
Adjust Monument (Type 5)	Each

REVISION OF SECTION 212 LANDSCAPE RESTORATION

SECTION 212 of the Standard Specifications is here revised for this project as follows:

DESCRIPTION

212.01 This work consists of restoring existing sod, landscaping (including existing walls), and sprinkler systems due to construction activities for curbs and sidewalks. The Contractor is also directed to the requirements of Revision of Section 107.12. Topsoil requirements shall comply with Section 207. Restoration of seeded and sodded areas shall comply with Section 212. Restoration of other landscaping materials, such as mulch and plantings, shall comply with Section 214.

CONSTRUCTION REQUIREMENTS

212.03 It is anticipated construction of curbs and sidewalks will affect existing miscellaneous landscape materials such as topsoil, sod, plantings, river rock, wood mulch, and other miscellaneous landscaping features. When the Contractor's construction operations for curbs and sidewalks affects existing landscaping, the Contractor shall document the landscaping prior to construction with photographs submitted to the Engineer.

The Contractor shall remove the landscape material to the limits required for construction and stockpile the material. Care shall be taken to not damage landscape materials during removal. Following completion of curbs and sidewalks the landscape material shall be restored to the areas.

Property owners shall be notified prior to removal of landscape materials, including information on schedule and restoration of the landscaping.

Any landscaping materials damaged by the Contractor's operations shall be replaced as directed by the Engineer at the Contractor's expense.

Grading and sidewalk construction may affect existing sprinkler heads and sprinkler lateral lines. If construction operations affect sprinkler systems, the sprinkler line shall be modified by capping or resetting as directed by the Engineer and coordinated with the adjacent property owner. Any sprinkler lines damaged shall be repaired as directed by the Engineer.

METHOD OF MEASUREMENT

212.07 Landscape Restoration will not be measured but shall be paid for as lump sum.

BASIS OF PAYMENT

212.08 Payment will be made under:

Pay Item

Landscape Restoration

Pay Unit

Lump Sum

Payment shall include removal, hauling, stockpiling, resetting, restoration and replacement of any damaged landscape materials. Payment shall include sprinkler system capping, resetting and repairs. Topsoil and Sod will not be paid for separately but shall be included in this work item.

**REVISION OF SECTION 250
ENVIRONMENTAL, HEALTH AND SAFETY MANAGEMENT**

SECTION 250 of the Standard Specifications is hereby revised for this project as follows:

250.03 GENERAL

Shall include the following:

Job materials and equipment may be stockpiled and stored at locations near the job site. A list of sites to be used for this purpose and written permission from the property owner shall be submitted to the Engineer for approval at least ten (10) days prior to any use. The proposed truck route for ingress and egress to such sites shall also be submitted to the Engineer for approval. Using such job-site storage requires the following:

1. Obtaining written permission from the property owner, which shall include a brief description of the area of the property to be used, the length of time the property will be used for this purpose, any access restrictions (i.e. times of day), and the name and phone number of the property owner. A copy of the written permission shall be submitted to the Project Manager at least one week prior to delivery of material to the site.
2. Keeping stockpiles and equipment confined to the approved area.
3. Providing security for job materials and equipment and for public safety at the site.
4. Keeping all access roads clean and in good condition.
5. Returning site to original condition.

Precautions shall be taken to ensure that stockpiles are carefully mixed just prior to use to ensure uniform distribution of the moisture, and that they do not become contaminated with over-sized seed rock, clay, silt or excessive amounts of moisture. The stockpile shall be kept in areas that drain readily. Segregation of the aggregate will not be permitted.

When surface treatment work is performed by contract, the Contractor shall be responsible for compliance with all requirements of this section. The Contractor shall hold the City and all its employees and representatives harmless from any injury or damage to property occurring as a result of Contractor's operations on property used for this purpose.

**REVISION OF SECTION 304
AGGREGATE BASE COURSE**

SECTION 304 of the Standard Specifications is hereby revised for this project as follows:

304.02 AGGREGATE *shall be revised to include the following:*

The minimum allowable R-value for Aggregate Base Course shall be 78. The specific gravity for the aggregates shall be greater than 2.0 at the source. The use of crushed reclaimed concrete material under some circumstances may be substituted for natural aggregate for use in roadbed stabilization upon review and written approval of the Engineer. Aggregate base course for use in shouldering and all-weather surfaces shall be natural and approved by the City of Littleton. All-weather surfaces will be required in-place at the end of each shift when traffic is not running on pavement. Base course from within the existing roadway section, if encountered, can be used as an all-weather surface.

Base course shall have a minimum unit weight of 125 pounds per cubic foot.

The Contractor shall have adequate Aggregate Base Course available for use on project as required by the Engineer.

304.08 BASIS OF PAYMENT *is deleted in its entirety and replaced with the following:*

Payment for aggregate base course shall be made at the applicable contract unit price for Aggregate Base Course and shall include full compensation for all transportation, materials, labor, equipment, supervision, tools, placement, compaction and all other appurtenant items to complete the work.

Excavation and removal of subgrade deemed unsuitable by the Engineer shall not be measured and paid of separately, but shall be included in the work.

Water will not be measured and paid for separately, but shall be included in the work.

If the Contractor utilizes imported crushed reclaimed concrete in lieu of aggregate base course, payment will be made on the accepted quantity of Aggregate Base Course, Class 6.

If the Contractor elects to utilize Aggregate Base Course to correct subgrade imperfections, over excavation of subgrade or control depths at their convenience this will not be paid for separately but shall be included in the work.

Pay Item

Aggregate Base Course (Class 6)

Pay Unit

CY

**REVISION OF SECTION 304 AND 403
AGGREGATE BASE COURSE AND HOT MIX ASPHALT TICKET COLLECTION**

Sections 304 and 403 of the Standard Specifications is hereby revised for this project as follows:

Subsection 304.08 and 403.05 shall include the following:

The Contractor shall collect the scale ticket on each load when it is delivered to the project site, and ensure that the information required in subsection 109.01 is shown on each ticket. The Contractor's ticket collector shall add the placement location to each scale ticket using stationing or mileposts and sign it.

The scale tickets shall be available on site for City of Littleton personnel to inspect.

Each day the Contractor shall provide to the Engineer envelopes which contain the previous day's signed tickets and the following:

1. On each envelope: Project number, date of delivery, type of material, daily total and cumulative total.
2. One of the following:
 - A. Two adding machine tape tabulations of the weight tickets with corresponding totals run and signed by different persons,
 - B. One signed adding machine tape tabulation of the weight tickets that has been checked and signed by a second person,
 - C. Signed check tape of computer scale tickets that have a cumulative total. These scale tickets must be consecutive and without voids adjustments.
3. A listing of any overweight loads on the envelope, including ticket numbers and amount over legal limit.
4. A comparison of the actual yield for each day's placement to the theoretical yield. Theoretical yield shall be based on the actual area paved, the planned thickness, and the actual density of the mixture being placed. Any variance greater than +2.5% shall be indicated on the envelope and a written explanation included.

All of the above items such as collected scale tickets, total tabulation sheets, over weight tickets, overweight permits, haul vehicle ID sheets, and etc. shall also be submitted electronically (scanned pdf format).

The Contractor shall provide a vehicle identification sheet that contains the following information for each vehicle:

- (1) Vehicle number
- (2) Length
- (3) Tare weight
- (4) Number of axles
- (5) Distance between extreme axles
- (6) All other information required to determine legal weight.

(7) Legal weight limit.

**REVISION OF SECTION 403
HOT MIX ASPHALT**

Section 403 of the Standard Specifications is hereby revised for this project as follows:

Subsection 403.02 shall include the following:

The design mix for hot mix asphalt shall conform to the following:

Table 403-1						
Property	Test Method	Value For Grading				
				S(75)	SX(75)	Patching
Air Voids, percent at: N (design)	CPL 5115			3.5 – 4.5	3.5 – 4.5	3.5 – 4.5
Lab Compaction (Revolutions): N (design)	CPL 5115			75	75	75
Stability, minimum	CPL 5106			28	30	28
Aggregate Retained on the 4.75 mm (No. 4) Sieve for S, SX and SG, and on the 2.36mm (No. 8) Sieve for ST and SF with at least 2 Mechanically Induced fractured faces, % minimum*	CP 45			60%	60%	60%
Accelerated Moisture Susceptibility Tensile Strength Ratio (Lottman), minimum	CPL 5109 Method B			80	80	80
Minimum Dry Split Tensile Strength, kPa (psi)	CPL 5109 Method B			205 (30)	205 (30)	205 (30)
Grade of Asphalt Cement, Top Layer				PG64-22	PG64-22	PG64-22
Grade of Asphalt Cement, Layers below Top				PG64-22	PG64-22	PG64-22
Voids in the Mineral Aggregate (VMA) % minimum	CP 48			See Table 403-2	See Table 403-2	See Table 403-2
Voids Filled with Asphalt (VFA), %	AI MS-2			65-80	65-75	65-75
Dust to Asphalt Ratio Fine Gradation Coarse Gradation	CP 50			0.6 – 1.2 0.8 – 1.6	0.6 – 1.2 0.8 – 1.6	0.6 - 1.2 0.8 – 1.6
<p>Note: AI MS-2 = Asphalt Institute Manual Series 2</p> <p>Note: Mixes with gradations having less than 40% passing the 4.75 mm (No. 4) sieve shall be approached with caution because of constructability problems.</p> <p>Note: Gradations for mixes with a nominal maximum aggregate size of one-inch or larger are considered a coarse gradation if they pass below the maximum density line at the #4 screen. Gradations for mixes with a nominal maximum aggregate size of 3/4" to 3/8" are considered a coarse gradation if they pass below the maximum density line at the #8 screen. Gradations for mixes with a nominal maximum aggregate size of #4 or smaller are considered a coarse gradation if they pass below the maximum density line at the #16 screen.</p> <p>*Fractured face requirements for SF may be waived by RME depending on project conditions.</p>						

All mix designs shall be run with a gyratory compaction angle of 1.25 degrees and properties must satisfy Table 403-1. Form 43 will establish construction targets for Asphalt Cement and all mix properties at Air Voids up to 1.0 percent below the mix design optimum. CDOT will establish the production asphalt cement and volumetric targets based on the Contractor's mix design and the relationships shown between the hot mix asphalt mixture volumetric properties and asphalt cement contents on the Form 429. CDOT may select a different AC content other than the one shown at optimum on the Contractor's mix design in order to establish the production targets as contained on the Form 43. Historically, Air Voids adjustments typically result in asphalt cement increases from 0.1 to 0.5 percent. Asphalt binder content shall conform to the following: minimum of 5.4% and a maximum of 6.1%. Contractors bidding the project should anticipate this change and factor it into their unit price bid.

Table 403-2

Nominal Maximum Size*, mm (inches)	Minimum Voids in the Mineral Aggregate (VMA)			
	***Design Air Voids **			
	3.5%	4.0%	4.5%	5.0%
37.5 (1½)	11.6	11.7	11.8	N/A
25.0 (1)	12.6	12.7	12.8	
19.0 (¾)	13.6	13.7	13.8	
12.5 (½)	14.6	14.7	14.8	
9.5 (⅜)	15.6	15.7	15.8	
4.75 (No. 4)	16.6	16.7	16.8	16.9
	* The Nominal Maximum Size is defined as one sieve larger than the first sieve to retain more than 10%. ** Interpolate specified VMA values for design air voids between those listed. *** Extrapolate specified VMA values for production air voids beyond those listed.			

The Contractor shall prepare a quality control plan outlining the steps taken to minimize segregation of HMA. This plan shall be submitted to the Engineer and approved prior to beginning the paving operations. When the Engineer determines that segregation is unacceptable, the paving shall stop and the cause of segregation shall be corrected before paving operations will be allowed to resume.

Hot mix asphalt for patching shall conform to the gradation requirements for Hot Mix Asphalt (Grading SX).

Subsection 403.03 shall include the following:

Delete subsection 403.05 and replace with the following:

403.05 The accepted quantities of hot mix asphalt will be paid for in accordance with subsection 401.22, at the contract unit price per ton for the bituminous mixture.

Payment will be made under:

<u>Pay Item</u>	<u>Pay Unit</u>
Hot Mix Asphalt (Patching)	SY
Hot Mix Asphalt (Grading S)(75)(PG 64-22)	Ton
Hot Mix Asphalt (Grading SX)(75)(PG 64-22)	Ton

Aggregate, asphalt recycling agent, asphalt cement, additives, hydrated lime, and all other work and materials necessary to complete each hot mix asphalt item will not be paid for separately but shall be included in the unit price bid. When the pay item includes the PG binder grade, any change to the submitted mix design's optimum asphalt cement content to establish production targets for the mix design/Form 43 will not be measured and paid for separately but shall be included in the work. No additional compensation will be considered or paid for any additional asphalt cement, plant modifications and additional personnel required to produce the HMA as a result in a change to the mix design asphalt cement content.

Historically, typical asphalt cement increases reflected on the mix/design Form 43 are from 0.1 to 0.5 percent. However, the Contractor should anticipate the AC increases typical of his mixes. Contractors bidding the project should anticipate this change and factor it into their unit price bid.

When the pay item does not include the PG binder grade, asphalt cement will be measured and paid for in accordance with Section 411. Asphalt cement used in Hot Mix Asphalt (Patching) will not be measured and paid for separately, but shall be included in the work.

Excavation, preparation, and tack coat of areas to be patched will not be measured and paid for separately, but shall be included in the work.

**REVISION OF SECTION 412
CONCRETE PAVEMENT (10 INCH) (SPECIAL)**

Section 412 of the Standard Specifications is hereby revised for this project as follows:

Subsection 412.02 shall include the following:

Concrete Pavement (Special) shall consist of concrete pavement with an integral color admixture. The color shall be Federal Color 20109 “Red Brown”. The Contractor shall submit a concrete color sample and product information to the Engineer for approval prior to construction.

The color admixture shall be incorporated into the concrete according to the manufacturer’s recommendations.

Subsection 412.24 shall include the following:

Payment will be made under:

<u>Pay Item</u>	<u>Pay Unit</u>
Concrete Pavement (10 Inch) (Special)	Square Yard

Color admixture and color sample shall be included in the cost of Concrete Pavement (Special).

**REVISION OF SECTION 608
SIDEWALKS AND BIKEWAYS**

Section 608 of the Standard Specifications is hereby revised as follows:

608.03 Concrete Sidewalks and Bikeways is hereby revised to include the following:

(e) *Joints.* Newly constructed curb and gutter shall not be poured monolithically with adjacent curb ramps or sidewalks unless otherwise approved or directed by the Engineer.

**REVISION OF SECTION 614
SIGNS AND SIGN POSTS**

Section 614 of the Standard Specifications is hereby revised for this project as follows:

Subsection 614.02 shall include the following:

Sign posts and bases shall be steel galvanized perforated square tubing as supplied by Unistrut, or approved equal.

Signs shall use sign posts with 2-inch x 2-inch tube, with bases of 2.25-inch x 2.25-inch tube.

Bases shall be 3 feet long, embedded with 2 inches to 4 inches exposed above the ground, and the post inserted 18 inches to 24 inches into the base.

Subsection 614.09 shall include the following:

Sign panels shall be mounted to sign posts with oversized washers.

Subsection 614.14 shall include the following:

Pay Item	Pay Unit
Steel Sign Post (2 x 2 Inch Telespar Tubing)	Linear Foot

Sign post anchors, hardware and other incidental materials necessary for the proper installation of the item, will not be measured and paid for separately, but shall be included in the cost of the steel sign post.

**REVISION OF SECTIONS 627 AND 713
PREFORMED THERMOPLASTIC PAVEMENT MARKING**

Section 627 of the Standard Special Provisions is hereby revised for this project as follows:

Subsection 627.09 (a) shall include the following:

- (a) *Application.* An epoxy resin primer shall be applied to any existing surface (concrete, asphalt, existing markings, etc.) prior to the application of any new preformed thermoplastic, plastic pavement marking. The epoxy resin primer shall conform to CDOT Standard Specifications subsection 708.07. Primer shall be required for all markings used including markings that manufacture does not require a primer. Primer and application will not be measured and paid for separately, but shall be included in the work.

Surface shall be dry and free of dirt, dust, chemicals, and/or significant oily substances. Application procedures for Portland concrete pavement shall be as described above except a compatible primer sealer shall be applied before application of marking to assure proper adhesion.

Subsection 627.09 shall include the following:

- (c) *Inlaid Preformed Thermoplastic Pavement Marking.* Shall be done for crosswalks, stop lines and symbols. The grooved width shall be the pavement marking width plus 1 inch, with a tolerance of $\pm \frac{1}{4}$ inch. The depth of the grooves shall be 130 mils \pm 5 mils. Groove position shall be a minimum of 2 inches from the edge of the pavement marking to the longitudinal pavement joint. Grinding of existing preformed thermoplastic pavement marking and the inlaying of proposed preformed thermoplastic pavement marking shall not be measured and paid for separately, but shall be included in the work.

Grooving shall not be performed on bridge decks.

The preformed thermoplastic pavement marking shall be inlaid on new and existing pavements as shown in the Contract. The material shall be capable of use for patching worn areas of the same type according to the manufacturer's recommendations.

The following shall be included in subsection 627.13:

Payment will be made under:

Pay Item	Pay Unit
Preformed Thermoplastic Pavement Marking (Xwalk-Stop Line)	Square Foot
Preformed Thermoplastic Pavement Marking (Word-Symbol)	Square Foot

Removal and application of temporary preformed thermoplastic pavement marking associated with wet-cutting of pavement shall be at the Contractor's expense.

Subsection 713.14 (a) shall include the following:

- (a) *General.* Material such as lines, legends, or symbols shall be capable of being affixed to HMA or PCC pavements. Marking shall be capable of conforming to pavement contours, breaks, and

faults etc. by the use of the normal heat of a propane torch. Marking shall be capable of withstanding the actions of traffic at normal pavement temperatures. Marking shall have resealing characteristics such that it is capable of fusing with itself and previously applied thermoplastic pavement markings when heated with the torch.

Subsection 713.14 shall include the following:

(c) *Performance.* Marking, when applied in accordance with manufactures recommendations shall demonstrate a uniform level of sufficient night time retro-reflection when tested in accordance to ASTM E1710-97. The applied material must have an initial minimum intensity reading of $500 \text{ mcd} \cdot \text{m}^{-2} \cdot 1\text{x}^{-1}$ for white and $300 \text{ mcd} \cdot \text{m}^{-2} \cdot 1\text{x}^{-1}$ for yellow as measured with a retro-reflectometer.

The top surface of the stencils (the same side as the factory applied surface beads) shall have an indicator system for the contractor to properly gauge the correct amount of heat to apply during installation. The indicator system shall have a positive visual indication, such as beads changing color or indents closing together, when the material has reached the correct installation temperature. The indicator system must also provide a positive, visual indication if the material has not reached the correct installation temperature.

**REVISION OF SECTION 630
CONSTRUCTION ZONE TRAFFIC CONTROL**

Section 630 of the Standard Specifications is hereby revised as follows:

Subsection 630.01 is revised to include the following:

1. Working hours shall be 7:00 a.m. to 7:00 p.m. Monday through Friday, 9:00 AM to 5:00 PM Saturday, and no work on Sunday in all residential areas, or as otherwise approved in writing by the Engineer.
2. Working hours shall be 7:00 a.m. to 7:00 p.m. Monday through Sunday in non-residential areas.
3. A full closure of Euclid Avenue is acceptable.
4. All work done outside the times above must be approved by the Engineer in writing.

As required by, in descending order of precedence, these plans and special specifications, the current Standard Specifications, as augmented by the Colorado Department of Transportation M and/or S standards, and the current version of the Manual on Uniform Traffic Control Devices (MUTCD) for Streets and Highways.

Subsection 630.10 through 630.11 shall be modified to read:

Traffic control throughout the construction area is the responsibility of the Contractor. Before starting construction, the Contractor shall submit, in writing, the proposed Method of Handling Traffic (MHT) for the initial phase of construction. When a different MHT is required for a subsequent construction phase, it must be submitted two weeks prior to starting that phase. All proposed methods of handling traffic shall be approved, in writing, by the Engineer. No phase of construction shall start until an acceptable MHT has been received and approved by the Engineer. The proposed methods shall include, as a minimum, the following:

A detailed diagram which shows the location of all sign placements, including advance construction signs (if not previously approved) and speed limit signs; method length and time duration for lane closures; and location of flag persons.

A tabulation of all traffic control devices shown in the detailed diagram including, but not limited to: construction signs, vertical panels; vertical panels with lights; Type 1 and Type 2 barricades; cones and drum channelizing devices; concrete barrier (temporary); advance warning flashing or sequencing arrow panels.

Approval of the proposed MHT is intended to indicate all devices to complete the project safely. Such approval does not relieve the contractor of liability specifically assigned to him under the contract. The Contractor shall erect and maintain warning lights, signs, barricades, and sufficient safeguards around all excavations, embankments, stockpiles, equipment, and obstructions.

Non-metallic drums may be substituted for vertical panel channelizing devices if site dimensions allow.

The Contractor shall, at the preconstruction conference, designate one of their employees, other than

the Superintendent, to be responsible for traffic control management. This responsibility shall include management for the contractor's signing and all other details covered by the specifications which contribute to the convenience, safety, and orderly movement of traffic and to the comfort of the traveling public. The designated employee will have the Certification of the Traffic Control Supervisor as a Worksite Traffic Supervisor by the American Traffic Safety Services Association (ATSSA) in lieu of completion of the CDOT minimum training requirements.

Traffic control managements shall be maintained on a 24-hour per day basis. The contractor shall make arrangements so that the Traffic Control supervisor or their approved representative will be available on every working day, "on call" at all times and available upon the Engineer's request at other than normal working hours. The Traffic Control Supervisor shall have an up-to-date copy of Part VI of the MUTCD, pertaining to traffic controls for street and highway constructions, and the approved MHT available at all times.

The contractor shall apply for and receive a City of Littleton right-of-way use permit (at no cost to the contractor) prior to commencing operations.

Due to the mobility of the operation, the contractor will need to provide traffic control consistent with the MUTCD. For sweeping operations, the contractor will need to provide an MHT.

The flagger's STOP/SLOW sign paddle shall be 18 inches with letters six inches high.

The Contractor shall provide three (3) variable message boards for the duration of the project to be deployed at the City's direction. Variable message boards shall be placed on eastbound Euclid Avenue, westbound Euclid Avenue, and southbound Broadway. Variable message boards shall be in place two (2) weeks prior to the start of construction.

Specific traffic control requirements for this project are as follows:

- Proposed phasing:
 - Phase 1 – South side of the roadway, including all curb, gutter, sidewalk, signing, striping, and driveway construction.
 - Phase 2 – North side of the roadway, including all curb, gutter, sidewalk, signing, striping, and driveway construction.
- **The intersection of Euclid Avenue and Cherokee Street shall be fully opened to traffic by August 7th, 2026.**
- One-way traffic is permitted.
 - During Phase 1 construction, one westbound lane shall be maintained. Unless the contractor is actively constructing or curing curb, gutter, sidewalk, or driveways, residential access shall be maintained between 5:00pm and 8:00am. During periods when driveways will not be accessible, Contractor shall provide residents three (3) days advanced notice.
 - During Phase 2 construction, one eastbound lane shall be maintained.
- Traffic lanes shall be a minimum of 10 feet wide for each phase of construction.
- Sidewalks shall be closed on only one side of the street at a time. When a sidewalk is closed, "Sidewalk Closed" signs shall be placed at the closure point and "Sidewalk Closed Ahead Cross Here" or "Pedestrian Detour" signs shall be placed at the next crosswalk prior. Where

the next crosswalk prior is an unreasonable distance away, the Contractor shall provide a temporary interim crossing.

Subsection 630.13 is revised to include the following:

Prior Notification

The Contractor shall place "NO PARKING TOW AWAY ZONE" signs a minimum of 48 hours in advance.

The Contractor shall notify all residents in residential areas where work is scheduled with a 5-day notice and a 48-hour notice in advance of all construction operations. The Contractor shall distribute WRITTEN notices using door hangers to each individual residence in a form approved by the Project Manager and post signs in accordance with this section. The Contractor shall also notify all businesses in shopping and commercial areas where work is scheduled 5 days in advance of all construction operations. The Contractor shall also place signs on streets requiring no parking for operations a minimum of 48 hours in advance. The signs shall be R7-2 / R7-201, 201A as detailed in the Manual on Uniform Traffic Control Devices. The hours for parking restrictions on the signs shall conform to Revised Section 108.05. The contractor shall place sufficient signs within each block to notify residents of the parking restrictions and shall be responsible for maintaining all traffic control signs. Requests for towing may not be honored if the provisions of this specification are not met. All arrangements for towing vehicles in violation of the parking restrictions shall be made by the Contractor by contacting the CITY OF LITTLETON non-emergency phone number of 303-794-1551. It is advisable for field staff to have a physical copy of the Public Improvements Permit at all times.

Forms for resident and business notification shall be submitted to the Project Manager for approval prior to the start of construction and shall contain the following information at a minimum:

- City of Littleton Logo & Contractor Logo
- Project Name and Description
- Name, address and telephone number of the Contractor
- Description of the work (prior to mobilization, initial removals, paving)
- Dates of the work (range of dates)
- Contractor's contact person for citizen questions, (24-hour availability)

Towing

Vehicles shall be identified by the Engineer and shall be limited to any class of vehicle that is upright and on wheels. 'No Parking' signs shall have been in-place and maintained for a minimum of forty-eight (48) hours along the proposed street segment prior to towing a vehicle.

The Contractor shall make every reasonable attempt as determined by the Engineer, including but not limited to door-to-door investigation, to locate the owner/operator of the vehicle prior to initiating the towing process.

Towing shall be limited to towing a vehicle conflicting with the current or proposed work activities. Vehicles shall be towed using techniques that do not damage the towed vehicle or the roadway, adjacent structures, or other public property or assets. Vehicles shall be towed to a location

designated by the Engineer at the time of towing, typically to an adjacent street beyond the proposed work area. **Towed vehicles shall be positioned in a legal parking space within a public roadway in a manner that permits through traffic.**

Immediately after towing a vehicle, the Contractor shall affix a notice to the windshield or other appropriate place on the motor vehicle, stating "This vehicle was parked within a Temporary Construction Work Zone. It was moved to this location by order of the City of Littleton Public Works.", or similar language approved by the Engineer.

The City shall not grant additional time or compensation for any resulting delays or loss of production because of failure to comply with the requirements of the Contract Documents including posting of notices and identifying and towing vehicles. Initial cost of towing will be the responsibility of the Contractor but can be reimbursed at a later date using the force account for the project if deemed reasonable by the Engineer and documentation of towing tickets can be provided by the Contractor.

Towing Tickets

The Contractor shall deliver a towing ticket identifying the following information:

- Date and time towing request received,
- Make, model, and license number of vehicle towed,
- Locations vehicle towed from and to, and
- Signature of an authorized City Representative with time and date work performed.

Towing Equipment Requirements

Towing equipment shall, at a minimum, be equipped with a power winch, two-way radio, ten-pound dry fire extinguisher, motorcycle sling, dollies or flatbed equipment, and other modern towing and safety devices. All equipment shall be in good working condition when reporting for use.

630.17 METHOD OF MEASUREMENT and 630.16 BASIS OF PAYMENT are hereby deleted in their entirety and replaced with the following:

Traffic control shall be paid on a lump sum basis to be paid for as follows: 50 percent of the Schedule amount upon first utilization and the remaining 50 percent of the Schedule amount when 75 percent of the original schedule amount has been earned.

In the event towing services are required, the Contractor shall be reimbursed \$150 per vehicle through the Force Account Item for Minor Contract Revisions. Reimbursement shall be considered full compensation for coordination, mobilization, towing vehicles, mechanical work, fees, fuel, maintenance, and for furnishing all materials, labor, equipment, tools, and incidentals or related services necessary to complete the work. Any towing performed without required signage or pre-authorization will not be paid.

PAY ITEM

Traffic Control

UNIT

Lump Sum

FORCE ACCOUNT ITEMS

DESCRIPTION

This special provision contains the City's estimate for force account items included in the Contract. Such estimated amounts will be added to the total bid to determine the Project Commitment Amount and the amount of the performance and payment bonds. Force Account work shall be performed as directed by the Engineer.

BASIS OF PAYMENT

Payment will be made in accordance with subsection 109.04. Payment will constitute full compensation for all work necessary to complete the item.

Force account work valued at \$5,000 or less, that must be performed by a licensed journeyman in order to comply with federal, state, or local codes, may be paid for after receipt of an itemized statement endorsed by the Contractor.

<u>Force Account Item</u>	<u>Quantity</u>	<u>Estimated Amount</u>
F/A Minor Contract Revisions	F.A.	\$125,000.00

PROJECT DESCRIPTION

The City of Littleton Public Works is concentrating on maintaining and preserving the condition of existing roadway infrastructure throughout the City. This project consists of furnishing all labor, equipment, and some materials necessary to reconstruct, rehabilitate, and maintain West Euclid Avenue between Cherokee Street and Broadway. The anticipated work includes asphalt paving, sidewalk, concrete curb, gutter, and curb ramps, patching, signage, striping, and adjusting manholes and valves.

LOCATION SCHEDULE

See attached construction documents.

CONSTRUCTION NOTES

Alternative construction sequences may be submitted but are subject to approval by the Engineer. Acceptance of alternatives will be based upon impacts to the public and cost.

Stockpiling location of material must be approved by the Engineer, or a written approval from property owner submitted.

All excess material will be disposed of off-site, or at an approved site by the Engineer.

Due to budget limitations, the City reserves the right to increase or decrease the total quantity to meet their needs. Repricing of the items will not be permitted due to a change in the planned quantity.

Work shall proceed at the direction of the City's Engineer or his designee.



Staff Communication

File #: Ordinance 15-2026, **Version:** 1

Agenda Date: 06/16/2026

Subject:

Ordinance 15-2026: An ordinance on first reading approving Landmark Designation of 6777 Southridge Lane, also known as the Pray-Parsons House

From:	James L. Becklenberg, City Manager
Prepared by:	Jesse Sheets, Planner II
Presentations:	N/A

PURPOSE:

To provide City Council with a formal recommendation on a local landmark application for 6777 Southridge Lane, also known as the Pray-Parsons House.

LONG-TERM OUTCOME(S) SERVED:

Vibrant Community with a Rich Culture

DISCUSSION:

6777 Southridge Lane, also known as the Pray-Parsons House, is a single-family detached dwelling located southwest of West Ridge Road on Southridge Lane. The home was constructed in 1962 to serve as a residence for the Pray family. The home was designed by architect Bruce Sutherland, was built by Clyde Mannon, and features Usonian design elements. Both individuals were influential in the Modern Movement within the Denver area. The Parsons family moved into the home in 1968. Sally Parsons is notable for being Littleton's first female mayor and has lived on the property since its purchase in 1968. The home maintains its historic integrity, having had no major exterior renovations since being constructed.

The applicant is requesting local landmark designation. The applicant must meet one or more of the eligibility criteria listed within the Unified Land Use Code and has provided information showing that the Pray-Parsons House meets three of the eligibility criteria for landmark designation.

- First, the home displays characteristics of the Modern Movement in architecture.
- Second, it is identified as the work of a regionally significant architect and builder - Bruce Sutherland and Clyde Mannon. These two both influenced Modern architecture in the Denver metropolitan area and are also connected to the Arapaho Hills historic district in Littleton.
- Third, the house is associated with an individual who made a significant contribution to the development of the City of Littleton: the city's first female mayor, Sally Parsons.

The period of significance for the first two criteria is 1962. The period of significance for its association with

Sally Parsons is 1973-1983 to represent the time she served on Littleton's City Council and as Mayor of the City of Littleton.

BACKGROUND:

The owners of the property known as 6777 Southridge Lane, or the Pray-Parsons House, have applied to designate the building as a local Littleton landmark. Two neighborhood meetings were held on 1/7/2026 and 4/2/2026 prior to the HPC hearing.

Prior Actions or Discussions

04/20/2026: Historical Preservation Commission (HPC) approved HPC Resolution 02-2026, forwarding approval to City Council for Landmark Designation of the Pray-Parsons House.

FISCAL IMPACTS:

N/A

STAFF RECOMMENDATION:

Staff recommends approval of this landmark designation.

ALTERNATIVES:

City Council may approve, approve with conditions, or deny the application.

Based on staff's analysis, as shown in the staff report, the proposed landmark designation is in compliance with the approval criteria in Littleton City Code section 10-9-8.4.C, as detailed in the staff report. Therefore, staff recommends approval of Ordinance 15-2026, which recommends local landmark designation of 6777 Southridge Lane within the City of Littleton, CO.

PROPOSED MOTION:

I move to approve Ordinance 15-2026 on first reading approving Landmark Designation of 6777 Southridge Lane, also known as the Pray-Parsons House, and to set the second reading and public hearing for July 21, 2026.

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CITY OF LITTLETON, COLORADO

ORDINANCE NO. 15

Series, 2026

**AN ORDINANCE OF THE CITY OF LITTLETON, COLORADO,
APPROVING A LOCAL HISTORIC LANDMARK DESIGNATION OF THE
“PRAY-PARSONS HOUSE,” LOCATED AT 6777 SOUTHRIDGE LANE**

WHEREAS, the City of Littleton has established a comprehensive process for the identification, preservation, and protection of historic resources and structures within the community; and

WHEREAS, Section 10-8-3 of the Littleton Unified Land Use Code (“ULUC”) establishes the authority of the City Council of the City of Littleton to designate historic landmarks; and

WHEREAS, a complete application was filed by Dr. Mary Therese Anstey on behalf of the Sally H. Parsons Trust requesting a local historic landmark designation for the structure and site located at 6777 Southridge Lane, also know as the Pray-Parsons House (the “Property”); and

WHEREAS, the Historical Preservation Commission of the City of Littleton, Colorado, following proper public notice, held a public hearing on April 20, 2026, and unanimously recommended approval to the City Council of the designation of the Property; and

WHEREAS, the City Council of the City of Littleton, Colorado held a public hearing at its regular meeting on July 21, 2026, to consider evidence and testimony regarding the landmark designation for the Property, and more specifically described in Exhibit A, which is attached hereto and fully incorporated herein by this reference; and

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LITTLETON, COLORADO, THAT:

Section 1: Findings of Fact. The City Council does hereby approve the landmark designation for the property known as the “Pray-Parsons House,” located at 6777 Southridge Lane, as described in Exhibit A, and finds in fact:

1. The consensual nomination meets the age, significance, and integrity criteria listed under Section 10-8-3.2; and
2. The consensual nomination has demonstrated it meets one or more of the

- 45 decision criteria for local landmark designation listed under Section 10-9-
46 8.4.C.1 of the ULUC; and
47
48 3. The structure on the Property is located in the place where it was originally
49 constructed in 1962 and is approximately 64 years old, which qualifies the
50 home as an eligible landmark for historic preservation; and
51
52 4. The structure on the Property is representative of the Modern Movement in
53 architecture with Usonian design elements that show significant physical
54 integrity; and
55
56 5. The Property is associated with the work of a regionally significant
57 architect, Bruce Sutherland, and builder Clyde Mannon, who together
58 influenced Modern architecture in the Denver metropolitan area; and
59
60 6. The Property, commonly identified with Sally Parsons, who as Littleton's
61 first female mayor, is considered a person that has contributed significantly
62 to the development of the city and has lived in the home since 1968; and
63
64 7. The criteria referenced in Section 10-8-3 of the ULUC have been met in
65 order to designate the Property as a historic landmark.
66
67

68 **Section 2:** Severability. If any part, section, subsection, sentence, clause or
69 phrase of this ordinance is for any reason held to be invalid, such invalidity shall not affect the
70 validity of the remaining sections of this ordinance. The City Council hereby declares that it would
71 have passed this ordinance, including each part, section, subsection, sentence, clause or phrase
72 hereof, irrespective of the fact that one or more parts, sections, subsections, sentences, clauses or
73 phrases may be declared invalid.
74

75 **Section 3:** Repealer. All ordinances or resolutions, or parts thereof, in conflict
76 with this ordinance are hereby repealed, provided that this repealer shall not repeal the repealer
77 clauses of such ordinance nor revive any ordinance thereby.
78
79

80 INTRODUCED AS A BILL at a regularly scheduled meeting of the City Council
81 of the City of Littleton on the 16th day of June, 2026, passed on first reading by a vote of ____
82 FOR and ____ AGAINST; and ordered published by posting at Littleton Center, Bemis Library,
83 the Municipal Courthouse and on the City of Littleton Website.

84 PUBLIC HEARING on the Ordinance to take place on the 21st day of July, 2026,
85 in the Council Chamber, Littleton Center, 2255 West Berry Avenue, Littleton, Colorado, at the
86 hour of 6:30 p.m., or as soon thereafter as it may be heard.

87 PASSED on second and final reading, following public hearing, by a vote of ____
88 FOR and ____ AGAINST on the 21st day of July, 2026 and ordered published by posting at
89 Littleton Center, Bemis Library, the Municipal Courthouse and on the City of Littleton Website.

90 ATTEST:

91 _____
92 Colleen L. Norton
93 CITY CLERK

Kyle Schlachter
MAYOR

94 APPROVED AS TO FORM:

95 _____
96
97
98 Reid Betzing
99 CITY ATTORNEY



EXHIBIT A
Legal Description

LOT 6, BARTS BRAE SUB, CITY OF LITTLETON, COUNTY OF ARAPAHOE, STATE OF
COLORADO

CONTAINING AN AREA OF: 0.624 ACRES

ALSO KNOWN AS: 6777 SOUTHRIDGE LANE

CITY OF LITTLETON, COLORADO

Resolution No. 02

Series, 2026

A RESOLUTION OF THE HISTORICAL PRESERVATION COMMISSION OF THE CITY OF LITTLETON, COLORADO, RECOMMENDING APPROVAL OF A LANDMARK DESIGNATION FOR THE PRAY-PARSONS HOUSE, LOCATED AT 6777 SOUTHRIDGE LANE

WHEREAS, Section 10-9-8.4 of the Littleton Unified Land Use Code (“ULUC”) contains provisions for the preservation of historic resources, including the designation of historic landmarks and districts; and

WHEREAS, the Sally H. Parsons Trust, as the owner of the property described in Exhibit A, attached hereto and fully incorporated herein by this reference, submitted an application for landmark designation under the provisions of the ULUC; and

WHEREAS, the City of Littleton Historic Preservation Commission held a regularly scheduled public meeting on April 20, 2026 to consider the application for the designation of landmark.

NOW, THEREFORE, BE IT RESOLVED BY THE HISTORICAL PRESERVATION COMMISSION OF THE CITY OF LITTLETON, COLORADO, THAT:

Section 1. The historic preservation commission finds, based on the evidence and testimony presented during the public hearing, the following in fact:

- a. The submitted application was found to be complete through the city’s review process; and
- b. Proper notice was provided according to Section 10-9-3.5 and Table 10-9-3.9.1 of the ULUC; and
- c. The property at 6777 Southbridge Lane is eligible for local landmark designation in accordance with Sections 10-8-3.2 and 10-9-8.4 of the ULUC; and
- d. The property at 6777 Southridge Lane, commonly identified with Sally Parsons, who as Littleton’s first female mayor is considered a person that has contributed significantly to the development of the city; and
- e. The property at 6777 Southridge Lane contains a residence which displays

HPC Resolution No. 02

Series, 2026

Page 2 of 3

47 characteristics of the Modern Movement in architecture and features Usonian
48 design elements in a style representative of the mid-twentieth century; and
49

50 f. The property at 6777 Southridge Lane is associated with the work of a
51 regionally significant architect, Bruce Sutherland, and builder Clyde Mannon,
52 who together influenced Modern architecture in the Denver metropolitan area;
53 and
54

55 g. The criteria referenced herein are sufficient to designate the property as a
56 historic landmark.
57

58 **Section 2.** The Resolution constitutes the written findings and decision of the City of
59 Littleton’s Historical Preservation Commission.
60

61 **Section 3.** On the basis of the above, the historical preservation commission hereby
62 recommends approval to the City Council of the City of Littleton. of landmark designation for the
63 property described in Exhibit A and commonly known as 6777 Southridge Lane or the Pray-
64 Parsons House.
65

66 INTRODUCED, READ AND ADOPTED at a regularly scheduled meeting of the
67 Historical Preservation Commission of the City of Littleton, Colorado, on the 20th day of April
68 2026, at 6:30 p.m. at the Littleton Center, 2255 West Berry Avenue, Littleton, Colorado.

69 ATTEST:
70 DocuSigned by:
71 *Colleen L. Norton*
72 CF35EE7F11B64D4
73 Colleen L. Norton
74 CITY CLERK

Signed by:
Paige Alcorn
Paige Alcorn
CHAIR

75 APPROVED AS TO FORM:
76 DocuSigned by:
77 *Atasi Tidrow*
78 4EEDFD6E851D1C4
79 Atasi Tidrow
80 SR. ASSISTANT CITY ATTORNEY



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HPC Resolution No. 02

Series, 2026

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EXHIBIT A
Legal Description

LOT 6, BARTS BRAE SUB, CITY OF LITTLETON, COUNTY OF ARAPAHOE, STATE OF COLORADO

CONTAINING AN AREA OF: 0.624 ACRES

ALSO KNOWN AS: 6777 SOUTHRIDGE LANE



Staff Report

Meeting Date: June 16, 2026
Planner: Jesse Sheets, Planner II

APPLICATION SUMMARY:

Project Name: Landmark Designation Nomination for the Pray-Parsons House
Case Number: LD25-0001
Application Types: Designation of a Local Historic Landmark
Location: 6777 Southridge Lane
Applicant: Dr. Mary Therese Anstey
Owners: Sally H. Parsons Trust
Applicant Request: To designate the property at 6777 Southridge Lane, also known as the Pray-Parsons House, a local Littleton historic landmark.

PROCESS:

Per Littleton's Unified Land Use Code Section 10-9-8.4, historic landmark designations involve a staff review followed by a recommendation from the Historical Preservation Commission to the Littleton City Council. The process requires two neighborhood meetings and concludes with a public hearing where the City Council makes the final determination.

LOCATION:

6777 Southridge Lane is located southwest of West Ridge Road on Southridge Lane in the Barts Brae subdivision of the Ridgewood neighborhood of Littleton.



Figure 1: 6777 Southridge Lane outlined in blue

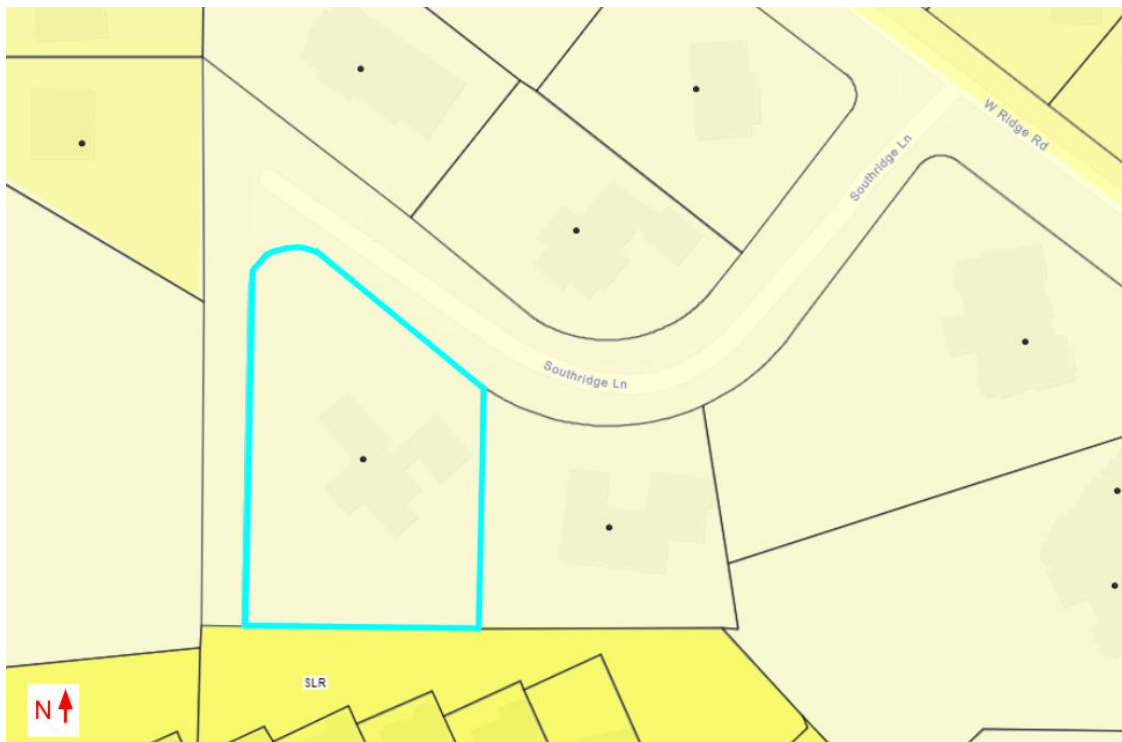


Figure 2: 6777 Southridge Lane, outlined in blue, has a zoning of Large-Lot Residential (LLR)

PROPERTY HISTORY:

1962	House designed by architect Bruce Sutherland is constructed by Clyde Mannon and purchased by Lloyd and Carrel Pray
1968	Bob and Sally Parsons move into the home with their family
1973	Sally Parsons is elected to the Littleton City Council
1977	Sally Parsons becomes Littleton's first female mayor, serving a 2-year term
1983	Completing her mayoral service, Sally returned to the city council serving until 1983
2025	Property owner initiates landmark designation application
2026	Sally Parsons continues to reside in the home at 6777 Southridge Lane to this day

PUBLIC NOTICE:

A public hearing date was agreed upon by the applicant and Director for the HPC hearing per Section 10-9-8.4.D.2. The city mailed notice of the public hearing to owners and residents adjacent to and within 700 feet of the property. Notice of the public hearing was posted on the subject property and at city locations in advance of the scheduled public hearing.

PROPERTY DESCRIPTION:

The Pray-Parsons House is located at 6777 Southridge Lane in Littleton, within Arapahoe County. The Modern Movements home incorporates Usonian design elements and was constructed in 1962. The house sits on a small cul-de-sac in the Barts Brae subdivision. Architect Bruce Sutherland designed the house and worked with builder Clyde Mannon on the property. The spacious house is virtually unaltered, in pristine condition, and spans 3,820 square feet. The expansive 0.62-acre lot features not only mature landscaping (grass lawns, a mixture of deciduous and evergreen trees, and multiple large flower beds) but also stunning views of the Front Range mountains. The name Pray-Parsons House refers to the only two families who have owned and resided in the home over its sixty-three-year history.



Figure 3: View of the front façade of the home from Southridge Lane looking to the southwest

APPLICATION DETAILS:

The applicant has applied for and requests approval of *local historic landmark designation* for the property at 6777 Southridge Lane. This designation will only impact the property at this address; it is not for a historic district which would affect multiple properties.

APPROVAL CRITERIA AND ANALYSIS:**ULUC Section 10-9-8.4.D.3 HPC Review**

The ULUC establishes a framework for the preservation of local heritage, ensuring that every landmark designation is rooted in thorough analysis and public transparency. The Director of Community Development serves a role in this review process by providing the historic preservation commission with a preliminary evaluation of all proposed designations.

1. Prior to the hearing, the Director shall review the proposed designation and provide the following information to the HPC with respect to:
 - i. Its consistency with the goals and policies of the Comprehensive Plan;
 - ii. The proposed landmark or historic district's significance and criteria, as defined in Section 10-8-3.2, *Criteria*;
 - iii. For a proposed historic district, the suggest period of significance and list of contributing and non-contributing properties within the district;
 - iv. Other planning considerations as may be relevant to the proposed designation; and
 - v. Public comments received regarding the proposed designation.
2. The Director shall provide written comments and recommendations regarding the proposed designation to the HPC before the hearing according to the timing of the general packet submittal.

ANALYSIS FOR 10-9-8.4.D.3*I. Consistency with the goals and policies of the Comprehensive Plan*

The proposed designation is consistent with the goals and policies of the Littleton Comprehensive Plan. By designating this property, the City furthers its commitment to preserving more areas and structures with distinctive historic value and character, along with identification of potential new historic districts and landmarks.

II. The proposed landmark or historic district's significance and criteria, as defined in Section 10-8-3.2, Criteria;

The property meets the necessary criteria for landmark status as outlined below.

III. For a proposed historic district, the suggest period of significance and list of contributing and non-contributing properties within the district;

Not applicable as the application is for a proposed designation and not a historic district.

IV. Other planning considerations as may be relevant to the proposed designation; and

The property maintains a high level of integrity, with no major exterior alterations since 1962.

V. *Public comments received regarding the proposed designation.*

As of the date of this report, no public comments have been received.

Based on the review of the criteria and the property's historical and architectural significance, the Director recommends approval of this landmark designation for the Pray-Parsons home. This recommendation is being provided to the HPC in conformance with Section 10-9-8.4.D.3 of the ULUC and in writing through this report.

ULUC Section 10-8-3.2 Criteria to Determine Eligibility for Landmark Designation

ULUC Section 10-8-3.2 establishes the eligibility criteria for the designation of a historic landmark. To qualify as a historic landmark, a building must meet the age, significance, and integrity conditions set within this code section. The criteria for age, significance, and integrity have been met.

A determination for eligibility for [Landmark](#) designation typically applies to the entire [lot](#), lots, or area of property upon which the Landmark is located, and may include structures, objects, or landscape features not eligible for Landmark designation located on the same lot, lots, or area of property. Individual properties shall be at least 40 years old and meet one or more of the following eligibility criteria to be considered for designation within Section 10-8-3.2.B.1.a of the ULUC. The applicant has provided information showing that the Pray-Parsons House meets the eligibility criteria for landmark designation.

B.1.a.2. Connection with persons significant in history. Resources may be determined to be significant if they are associated with the lives of persons or groups of persons recognizable in the history of the community, state, or nation whose specific contributions to that history can be identified and documented. This also includes a resource that represents an association with a notable person or the work of a notable person.

This property is historically significant for its association with Sally Parsons, Littleton's first female mayor and a pivotal figure in the city's development. While the period of significance for the initial two criteria is 1962, the home's primary historical importance spans from 1973 to 1983. This decade encompasses Parsons' influential tenure on the City Council and her service as Mayor.

B.1.a.3. Distinctive characteristics of a type, period, method of construction, or artisan. Resources may be determined to be significant if they embody the identifiable characteristics of a type, period, or method of construction; represent the work of a craftsman or architect whose work is distinguishable from others by its characteristic style and quality; possess high artistic values or design concepts; or are part of a recognizable and distinguishable group of resources. The property or structure may meet this criteria if it:

- i) Exemplifies specific elements of an architectural style or period;*
- ii) Is an example of the work of an architect or builder who is recognized for expertise nationally, state-wide, regionally, or locally;*
- iii) Demonstrates superior craftsmanship or high artistic value;*
- iv) Represents a style that is unique to the city;*
- v) Represents an innovation in construction, materials, or design; or*
- vi) Represents a built environment of a group of people in an era of history.*

The home displays characteristics of the Modern Movement in architecture and features elements of Usonian design. Further, the home is a documented work of a regionally significant architect, Bruce Sutherland, and builder, Clyde Mannon. Both are recognized regionally for their

contributions to Modern architecture in the Denver metropolitan area and are linked to the development of the Arapaho Hills historic district in Littleton.

The applicant must then demonstrate the nomination meets one or more of the eligibility criteria listed within the ULUC Section 10-9-8.4.

ULUC Section 10-9-8.4 Designation of Historic Landmarks and Districts

Under 10-9-8.4.C General Decision Criteria of the ULUC, Landmark Designation application may be approved, approved with conditions, or denied based on the following criteria for a consensual designation:

1. Consensual Designation. If the owner(s) of the property...consent to designation, a recommendation shall be based on the following considerations:

- a. ***It has value as a reminder of the cultural or archeological heritage of the nation, state, or city;***

Not applicable. The significance and the historical value of the property is not directly related to the cultural or archaeological heritage of the nation, state, or city.

- b. ***The location is a site of a significant national, state, or local event;***

Not applicable. The historic significance of this property is not related to an event that occurred on the site.

- c. ***It identifies with a person or persons who significantly contributed to the development of the nation, state, or city;***

The property meets this criterion through its direct association with Sally Parsons, a transformative figure in Littleton's civic history. As the city's first female mayor, Parsons resided at this location during the height of her public service. Her tenure on the City Council and as Mayor (1973–1983) was marked by a broad range of initiatives that fundamentally shaped the city's modern built environment. Because the property served as her primary residence during her most productive years of leadership, it stands as the principal physical landmark of her legacy.

- d. ***It identifies as the work of a master builder, designer, or architect whose individual work has influenced the development of the nation, state, or city;***

The home was designed by architect Bruce Sutherland, was built by Clyde Mannon in 1962, and features Usonian design elements. Both individuals were influential in the Modern Movement within the Denver area and worked on homes within the Arapahoe Hills historic district in Littleton as well. The home maintains its historic integrity, having had no major exterior renovations since being constructed. This criterion appears to be met.

- e. ***It has value as a building that is recognized for the quality of its architecture, and that retains sufficient elements showing architectural significance;***

Not applicable. The architectural significance of the building relates more to the movement it is associated with, rather than the individual architectural components and their significance.

f. It displays characteristics of an architectural style of a period;

As previously noted, and outlined in the attached nomination, the design of the house is representative of the Modern Movement in architecture and incorporates Usonian design elements into the home. This criterion appears to be met.

g. It has character as a geographically definable area possessing a significant concentration of sites, buildings, objects, or structures united by architectural style, by a plan, or by physical development; and

Not applicable. This application is to protect a single property rather than a district.

h. It has character as an established and geographically definable neighborhood united by culture or past events.

Not applicable. This application is to protect a single property rather than a district.

STAFF RECOMMENDATION:

Staff find that the Landmark Designation for the 6777 Southridge Lane, the Pray-Parsons House, meets the approval criteria in Littleton Unified Land Use Code Section 10-9-8.4.C. Staff recommend approval of Ordinance 15-2026.

Littleton Historic Register Nomination

Property (Historic Name): Pray-Parsons House

Address: 6777 Southridge Lane Littleton, CO 80120 Arapahoe County

Current Owner (Private): Sally H. Parsons Trust

Preparer: Dr. Mary Therese Anstey (HistoryMatters, LLC) on behalf of Historic Littleton, Inc. for the owner

NARRATIVE DESCRIPTION

The Pray-Parsons House is located at 6777 Southridge Lane in Littleton, within Arapahoe County. The Modern Movements home was constructed in 1962 and sits on a small cul-de-sac in the Barts Brae subdivision. Architect Bruce Sutherland designed the house and worked with builder Clyde Mannon on the property. The spacious house is virtually unaltered, in pristine condition, and spans 3,820 square feet. The expansive, .62-acre lot features not only mature landscaping (grass lawns, a mixture of deciduous and evergreen trees, and multiple large flower beds) but also stunning views of the Front Range mountains. The name Pray-Parsons refers to the only two families who have owned and resided in the home over its sixty-three-year history.

Architectural Description

Oriented on a north/ south axis allowing for impressive views of the mountains from the living room and the exterior, L-shaped rear balcony, this Modern Movements style home rests on a concrete foundation. The roughly irregular-shaped house is faced in horizontal siding painted tan and a subdued mixture of red and dark brown Roman brick. The home has a complex, cross-gabled roof with overhanging eaves and modified bitumen (synthetic) surface. It features wooden windows throughout and all have trim painted tan to match the horizontal siding. The house is a one-story building with a full basement.

A curvilinear, concrete driveway featuring decorative brick edging extends from Southridge Lane toward the attached, two single-car garages with cream-colored, paneled, roll-up doors. The front-gabled roof at the streetside end of the garage features overhanging eaves, an exposed rafter end, and five fixed-pane clerestory windows in the gable face of the brick wall. East of the garages there is a narrow, black, metal gate leading through an enclosed breezeway to the backyard. A span of brick wall adjacent to the breezeway completes the garage wing of the home. Terra cotta-colored decorative tiles define a front porch area with access to both the breezeway and the home's front door. The recessed primary entry is located near the junction of the attached garage and façade wings. The front door is solid wood painted cream with a rectangular, vertical panel. There are three fixed-pane windows with patterned (vertical ridges) Lexan to the east of this entrance. The remainder of the façade features three windows on the main story. Each of these windows is a small, horizontally oriented, operative, rectangular slider located underneath the overhanging eaves. Partially obscured by juniper bushes, there are also three basement windows on the façade. These windows all appear to be rectangular, vertically oriented, with two fixed panes. The main story of the façade is faced in narrow sections of horizontal siding painted tan, with vertical dividers. The basement level is faced in brick.

The rear of the house has southeast-facing and southwest-facing wings. Around the streetside end of the garage wing is the southeast-facing side of the house. It features the rear of the

garage, the breezeway with access to the kitchen, and a large patio. The wall from the corner of the house to the breezeway is faced in brick. This brick wall has a pair of adjacent, rectangular, horizontally oriented, slider windows. The breezeway is paved in identical tiles as the front porch/ is a continuation of the front porch. The west-facing (interior) side of the garage mimics the side along Southridge Lane, with brick siding, exposed rafter end, and clerestory windows. There is a single, solid, cream-colored wooden door offering access from the garage through the breezeway and to the rear patio or kitchen. The breezeway has a simple, wooden, open, trellis-like roof that spans the area between the garage and the kitchen. The spacious, front-gabled, partially covered patio is paved with terra cotta-colored tinted concrete. The north side of the patio roof is open wooden slats, with the back side covered in asphalt/ composition; it is an extension of the home's roof. There are fixed pane clerestory windows along the dining room's exterior brick wall. A large, rectangular, vertically oriented slider window looks out from the kitchen and there is a sliding glass door offering on-grade access to the patio from the dining room. The patio roof intersects with the front-gabled living room roof, with only some of the eight fixed-pane clerestory windows visible from the backyard. The living room wall is mostly brick with horizontal siding between a main-story corner window and a similar basement-level opening. Both windows are narrow, rectangular, and vertically oriented. The upper window features two fixed lites with a small bush obscuring detail of the basement window. The top of the brick chimney is visible from the southern (rear) corner of the house.

The southwest-facing wing on the rear of the Pray-Parsons House features the west-facing wall of the dining room, a bump out to the west (for the living room on the main level and basement-level den), the massive brick chimney for both main and basement fireplaces, and the long, western wing of the home. The dining room exterior has horizontal siding and three evenly spaced windows. These windows are nearly square fixed panes. The bump out is divided in half, with one side featuring windows on the main and basement levels and the other side dominated by the brick chimney that extends from the foundation to above the roofline. The main-level living room window is oversized, rectangular, horizontally oriented, and extends nearly to the corner offering impressive views to the west from the living room. The basement window spans the same area as the one above, but it is a narrow, horizontally oriented, rectangular fixed pane. The western wing of the house-- containing (on both levels) the bedrooms, bathrooms, and a narrow hallway to access them-- intersects with the main public wing of the home and is most visible from near the western corner of the lot. Access to the main level balcony is via two west-facing sliding doors. One is in the hallway near the intersection of the two wings. The other, with access from the main bedroom, is centered on the main level of the home and marks the northwest corner of the balcony. The balcony surround has simple wooden slats painted tan. Half of a corner window appears at the west corner of the main story. Both the west- and (roughly) north-facing portions of this unit feature two rectangular, vertically oriented, fixed panes. There is another sliding glass patio door on the basement level. It is located near the intersection of the public and private wings of the home. Just north of this secondary entrance, there are two nearly square, horizontally oriented, fixed pane windows. There are also two other windows on the basement level located closer to the northwest corner of the house. Each of these windows features paired, rectangular, vertically oriented, fixed panes.

The northwest-facing side of the public wing of this house also is most visible from the western corner of the lot. The front-gabled rear roofline features clerestory windows, overhanging eaves, and exposed rafter end as previously described. Immediately underneath the clerestory windows and adjacent to the side of the massive brick chimney, there is an oversized, rectangular,

horizontally oriented, fixed pane window. There is a smaller, rectangular, vertically oriented, fixed pane window with two lites located at the intersection of the two wings of the home on the main level. The shorter end of the balcony extends across nearly the entire width of the living room. On the basement level there are two sets of windows. The larger window mirrors the oversized living room window in size, shape, and orientation; however, it is tripartite. There also is a corner window on the basement level near the intersection of the home's two wings. This window is oversized, rectangular, vertically oriented, two-lite, and fixed pane.

The northwest end of the house is faced in horizontal siding with only the main story visible. As previously described, it features a front-gabled roofline with overhanging eaves, clerestory windows, and exposed rafter end. The corner window (described on the southwest-facing main story) wraps around from the rear of the house. This side, like the other, features rectangular, vertically oriented, fixed panes.

Alterations

According to Arapahoe County Assessor's records, this house was constructed in 1962. An analysis of the style, building materials, and other historical records corroborate this date of construction. An assessment of Google Earth images and an interview with current owner Sally Parsons confirm there have been no exterior alterations to the property. The southwest-facing living room windows (adjacent to the main fireplace) were replaced with identical materials and no changes to the fenestration pattern.

Integrity Assessment

Constructed in 1962, this residential building exhibits an extremely high level of physical integrity relative to the seven aspects of integrity as defined by the National Park Service and the City of Littleton: location, setting, design, materials, workmanship, association, and feeling. The home is in its original location and, despite widescale changes in the city at large, the setting still feels rural. There is a horse property to the west and both the cul-de-sac street pattern and mature landscaping enhance the sense of privacy. This virtually unaltered home remains pristinely intact and has benefitted from loving maintenance over its sixty-three years of existence in the caring and capable hands of only two owners. This home, due to its impeccable midcentury design and craftsmanship, still appears as a distinctive, architect-designed and craft-built residence. Its association with architect Bruce Sutherland and builder Clyde Mannon remains obvious. Overall, this property exudes high quality home construction with numerous character-defining features of the Modern Movements style. Sally Parsons lived in this home during her ten years of governmental service, both on City Council and as Littleton's first female Mayor; this fact makes the property strongly associated with her local importance. This building retains sufficient physical integrity to convey its historical and architectural significance for listing as a City of Littleton local landmark.

STATEMENT OF SIGNIFICANCE

Summary

The Pray-Parsons House is eligible for designation as a City of Littleton local landmark under three criteria. First, the home displays characteristics of Modern architecture. Second, it is identified as the work of an architect and builder-- Bruce Sutherland and Clyde Mannon-- who both influenced Modern architecture in the Denver metropolitan area. Third, the house is associated with an individual who made a significant contribution to the development of Littleton: the city's first female mayor, Sally Parsons, who has resided at this property since 1968. The period of

significance for the first two criteria is 1962. The period of significance for its association with Sally Parsons is 1973-1983 to represent the period she served on Littleton City Council and as Mayor.

Narrative

I. The home displays characteristics of Modern architecture

The Pray-Parsons House exhibits several characteristics associated with Usonian architecture. American architectural master Frank Lloyd Wright developed this new style in the 1930s and other professionals, including several practicing in Littleton, continued to build in this Modern expression into the 1960s.

A history of Modernism places the home at 6777 Southridge Lane into its proper architectural context. Modernism sought to make a break from the past. Instead of relying upon historical examples and traditional building methods, Modern architects emphasized functionalism, rationalism, and the latest technology in their commissions. Modernism has its earliest roots in mid- to late-1800s Europe, with Sir Joseph Paxton's Crystal Palace and Gustave Eiffel's iconic tower. Both buildings were groundbreaking because they proudly displayed their structure on the outside rather than having it buried beneath decorative elements. For the most part, the public was not ready for such audacious design, but these works and others inspired members of the international architectural profession.

The avant-garde De Stijl movement, established in the Netherlands during World War I and gaining international popularity in the 1920s, sought to develop a harmonious balance between horizontals and verticals in art, interior design, and architecture. Frank Lloyd Wright's experimentation with space and forms influenced this movement and others into the later- 1920s. But it was Wright's former boss, Louis Sullivan, who provided one of the key guiding principles for Modern architecture. He stated, "form ever follows function" and adhered to this tenet in his designs for Chicago skyscrapers. Such emphasis on function inspired Modern architects, increasingly, to consider machines when designing buildings. French architect Le Corbusier voiced a second principle of Modern architecture in his 1923 book *Vers Une Architecture (Toward a New Architecture)*, stating, "a house is a machine for living in." A belief in mass production, another concept related to the machine age, influenced both Le Corbusier and the Bauhaus, an architectural and applied arts movement that German Walter Gropius established in 1919. Gropius and fellow Bauhaus architects Marcel Breuer and Ludwig Mies van der Rohe rejected Arts & Crafts sensibilities to create buildings with an appearance traditionalists considered severe, elegant, and spare.

Modernism came to the United States when Gropius, Breuer, Mies van der Rohe, and others emigrated after fleeing Nazi Germany in the 1930s. In 1932, the Museum of Modern Art in New York applied the term International Style to their architecture. These and other mid-twentieth century architects viewed the clean lines and machine aesthetic of Modern architecture as an ideal response to an increasingly complex world, especially when applied to large swaths of land and integrated with new street layouts; Modern architecture was a favorite for new construction in bombed-out European cities and for urban renewal projects worldwide. Modern architects employed technological and material advances, integrating a wide variety of prefabricated components into their designs. Both Gropius and Mies van der Rohe accepted positions as architecture professors at American universities and, through their numerous students, influenced American architecture during the postwar period and beyond.

Frank Lloyd Wright

This famous American architect was born in Richland Center, Wisconsin, in 1867, to a teacher mother and a father who rarely held a steady job, but attempted positions as varied as preacher, musician, and school superintendent. Wright's parents divorced in 1884, and the son never saw his father again. After the marital split, the future architect changed his name from Frank Lincoln Wright to Frank Lloyd Wright, adopting his mother's family name as a sign of esteem and offering an indication of the family influence upon him.

Wright studied civil engineering at the University of Wisconsin in 1887 but did not earn a degree. He learned a great deal from his apprenticeship with the Chicago architectural firm of Adler & Sullivan. Wright worked at the firm from 1887 to 1893, where he designed homes with Victorian influences, before establishing his own practice. He developed and popularized the Prairie style-- with an emphasis on horizontality and low, flat rooflines with extended overhangs-- from the late-1890s to the early-1900s. In response to a demand for more modest homes during the Great Depression, Wright developed and employed the Usonian style for middle class owners.

Throughout his career, Wright employed experimental materials like reinforced concrete and steel, often with mixed results. Key tenets of his designs included integration of buildings within the natural environment, creation of human-scale features such as built-in furniture, and the ideal of holistic building plans with well-integrated interiors and exteriors. He shaped the education and style of future architects via both Taliesin and Taliesin West, school-studio-cultural camps located in Wisconsin and Arizona. Wright died in 1959 after a seventy-two-year career.

The Pray-Parsons House exhibits influences from Usonian design, a modern expression American master architect Frank Lloyd Wright developed and in which other architects found inspiration. Usonian style homes were intended to be affordable for the middle classes. The houses were smaller than Wright's grand homes of the 1920s, featured little to no ornamentation, and often lacked attics or basements. Usonian homes were designed in three distinct zones: living space, small bedrooms, and a kitchen-dining core. The focus was on human scale and simple lines.

Integration with the landscape gave Usonian houses, almost always architect-designed, a different appearance than the boxy Minimal Traditional and Ranch homes other large-scale pre- and post-war subdivisions favored. *Colorado's Historic Architecture & Engineering Guide* notes how the walls of Usonian homes "extended beyond the interior to the outside, intermingling the two." This source also describes how large windows brought the outside in and indicates "natural materials blended the house with the site and warm colors on the interior further contributed to the feeling of bringing the outdoors inside."

Common elements of Usonian style visible in the architecture of the Pray-Parsons House include:

1. dominant horizontal lines
2. overhanging eaves
3. siting that features both private and open sides of the home
4. zoned interior plan with kitchen-dining space, public living room (and basement), plus private bedroom wings
5. built-in furniture
6. inside-outside walls
7. dominant central hearths

Architect Bruce Sutherland's choice of a Usonian design for 6777 Southridge Lane may be attributed, at least partially, to two of his major influences, both professionals who executed Usonian designs themselves. Sutherland worked for Charles Gordon Lee from 1956 to 1961. Lee was an established architect in the Denver metropolitan area who studied at both Taliesin and Taliesin West. He is best known as the on-site architect representing Taliesin for the Rocky Mountain National Park Administration Building in Estes Park. He also designed multiple private residences,

including his own (no longer extant) at 6733 S. Windermere Avenue in Littleton. Joe Lort, jr., not a licensed architect but still a designer of multiple homes, also influenced Sutherland. He, too, studied at Taliesin and later designed noteworthy Modern residences in both the Hilltop and Bow Mar neighborhoods in Denver.

II. The home is identified as the work of an architect and builder-- Bruce Sutherland and Clyde Mannon-- who both influenced Modern architecture in the Denver metropolitan area

Both documentary and physical evidence within the style and design elements of 6777 Southridge Lane indicate Bruce Sutherland was its architect. Similarly, distinctive features of the home and the construction methods employed point to builder Clyde Mannon's involvement as well. The two professionals had an established working relationship, having met in 1956 after an introduction from Sutherland's father. Mannon hired Bruce Sutherland to design the home on the last remaining lot in the Arapahoe Acres subdivision. Then, the two worked together on at least thirty-six homes in the Arapaho Hills subdivision. The text below presents the biographies of both Sutherland and Mannon before providing evidence of their associations with the Pray-Parsons House.

Architect: Sutherland

Bruce Roswell Sutherland was born on 20 October 1931 in Denver. His parents were Charles and Angie Sutherland, and he had an older brother, Charles Jr. Sutherland graduated from South High School in 1949 and continued his education at Denver University, studying in the School of Architecture and Planning under architect Eugene Strernberg. On 10 December 1950, he married Joanne James in Denver. Two years later he, and several of his fellow architecture students from DU, transferred to the University of Utah. Sutherland earned both a BA in Architecture and BFA from this institution. While in college and immediately after graduation, he worked as a draftsman for several prominent architects, including Joe Lort, jr. in Denver from 1949 to 1952 and two Salt Lake City firms: Ashton, Evans & Brazier from 1952 to 1953 and Underwood & Ehlers from 1953 to 1954. At the age of 25, Sutherland became the youngest registered architect in Colorado. He accepted a position with established Modernist architect Charles Gordon Lee, working in that office until March 1961. Lort and Lee (as described in section I above) were both adherents to the work of Frank Lloyd Wright.

In 1958, while working for Lee, Sutherland designed the "High Country Home" for the twelfth annual Denver Home Show. This show was held at the University of Denver fieldhouse, offering attendees opportunities to view the latest in home design and see the newest models from mostly builders. Federal mortgage rules, financial means, and personal tastes significantly impacted the postwar housing market and most new houses were standard Ranch (and later Split-Level) homes within large subdivisions. These mass-produced properties integrated many modern appliances but only made brief nods to Modern architecture. These homes were small-"m" Modernism or Modernism for the Masses. However, Sutherland's model home was different because it was architect-designed, expressed Modernist architectural influences, and cost significantly more. Mannon and Associates, Inc. was responsible for the construction of Sutherland's show home at 1940 S. York Street. *Cervi's Rocky Mountain Journal* referred, in a 5 February 1958 article, to the architect-designed home as the "House of the Future." An article in the 13 April 1958 *Rocky Mountain News* focused on both the aesthetic beauty and functionality of the home, emphasizing

its massive stone fireplace in the living room and flexible design suitable for entertaining both inside and out along with “every modern convenience any housewife could want, plus spacious, easy-to-clean living areas and a flexible floor plan.” This same story also credited builder Mannon with “installing electric plug mold throughout with outlets at every four feet” and noted how “copper plumbing and waste system should conquest difficulties along that line.”

In 1961, while still working in Arapaho Hills, Sutherland opened his own firm. This firm was responsible for the design of the house at 6777 Southridge Lane. As demand for architect-designed, single-family homes declined, Sutherland became well-known as a designer of lodges, condominiums, and apartments complexes in and near ski and resort areas nationwide. Sutherland joined the firm of Frederic A. Benedict & Associates, Architects and Planners, in Aspen in 1967. This firm was influential in making Aspen not only a ski town but also a mecca of Modern architecture with its Aspen Institute campus and several other landmarks. Sutherland worked briefly, in the late-1970s, in Oakland for Tom Wilson who developed the Aspen Square condominiums. He returned to Aspen in 1982, becoming a named associate in Benedict, Sutherland, and Duesterberg Ltd. This firm was renamed Sutherland Fallin, Inc. in 1987. A year after a heart transplant surgery, Bruce Sutherland died on 8 June 1993.

Current owner Sally Parsons provided the original blueprints for her home, an amazing asset and proof that 6777 Southridge Lane is a Bruce Sutherland design. Even if the original blueprints did not exist, however, the links to this architect are clear. There is an architectural throughline from the House of Future through Arapaho Hills to the Pray-Parsons House. All of them have the hallmarks of Bruce Sutherland designs.

Architect-Designed Makes House Custom to Owners

Advertisements for Arapaho Hills touted the superiority of custom design, noting how the architect would study the family and build a home suited to their preferences in terms of closet space, room placement, and any required specialized features.

Sutherland offered this exact service for Lloyd and Carrel Pray, the original owners of 6777 Southridge Lane. Carrel was an amateur musician and taught piano lessons at the house. She requested specialized storage for sheet music. Sutherland designed this shelving and Mannon constructed it in the rear of the living room.

Common elements of architect Bruce Sutherland’s domestic designs evident at the Pray-Parsons House include:

1. Bringing Outside In – This feature is most evident in the entry foyer of 6777 Southridge Lane where the exterior horizontal siding covers the interior wall above the stairs heading to the basement. Other techniques Sutherland employed to blend interior and exterior spaces included use of large picture windows offering scenic views toward the Front Range mountains and a glass patio door leading towards a covered area and landscaped backyard.
2. Complex Rooflines Visible on Interior – Sutherland used exposed beams and intersecting roof planes, giving the living room at 6777 Southridge Lane an expansive, open feel and appearance.
3. Dominant Hearth – A floor to ceiling brick fireplace appears in both the living room and the basement-level den. The massive chimney also is visible on the rear of the house.

Builder: Mannon

Clyde Mannon was born on 18 May 1918, the second of four children and only son of James and Gertrude Mannon. The family lived on the farm his great-grandfather, an immigrant from Bavaria, acquired near Golden in 1882. He graduated from Golden High School in 1935, aspiring to become an aeronautical engineer. His grandmother promised him the funds to attend Colorado A&M (now Colorado State University in Fort Collins), however, she died before he graduated from high school. Mannon worked briefly at the Coors Porcelain Plant, but his position ended when the company closed in response to a bid for unionization. Mannon accepted his first job in construction, as the carpenter's helper, at Ralston Dam. He married Barbara Haak in 1938 and the couple, ultimately, had two daughters, Jean and Linda. Mannon returned to Coors between 1939 and 1945, working at the brewery on machine inspections and maintenance.

Mannon served in World War II with the Army Air Corps, doing his pilot training in Texas and California. He returned to Golden after the war and soon after, through his role as a charter member of the Golden Lions Club, met fellow member Verne Lacer, the co-owner with Edward Hawkins of the prefabricated housing firm Construction Products Company. When this duo closed their business, Hawkins acquired the site of the company's first prefab home; this land ultimately became Arapahoe Acres where Hawkins and Mannon collaborated until 1957 when Hawkins asked Mannon and Associates, Inc. to complete all work. It was at this time that Mannon also established his working relationship with architect Bruce Sutherland.

In 1964 Mannon left the construction business. For ten years he owned the first fast food restaurant in Golden, a Dairy Delite located near the School of Mines campus. He established Foothills Realty in 1974 with his business partner and friend Lauren Babb. He retired in the mid-1980s, but remained active in the Golden community, especially with the Chamber of Commerce and efforts to promote tourism in his hometown. Mannon died in 2015, with his obituary describing him as a quiet man and noting how much he loved his family.

Mannon's construction legacy is most relevant to this nomination. He built approximately 100 architect-designed homes throughout the Denver metro area, working with Modern architects Eugene Sternberg, Carl Groos, and, of course, Sutherland. Mannon was responsible for two subdivisions (Arapahoe Acres and Arapaho Hills) that have been listed on the National Register of Historic Places. In addition, *Better Homes and Gardens* chose Mannon to construct their annual show home for seven years. Mannon also was active in the Homebuilders Association of Denver, serving as president of the organization in 1964. His last construction project was the Golden subdivision of Rimrock.

No written documents were uncovered that definitively state Clyde Mannon was responsible for the construction of 6777 Southridge Lane. However, known history and physical evidence within the Pray-Parsons House offer near proof. Architect Bruce Sutherland had an established working relationship with Clyde Mannon that spanned at least seven years by the time this house was constructed. In addition, Mannon was the go-to builder for numerous Modernist, architect-designed homes within the metro area. Looking at the Pray-Parsons House also identifies Mannon as the builder. As with his numerous other projects, this property employed high quality materials and superior construction techniques. The visible dovetail joints above the front door at 6777 Southridge Lane are nearly identical to those within multiple Mannon-built homes in Arapaho Hills. This house also has several features this builder routinely created in other domestic commissions,

including sliding closet doors, accordion doors to screen of the laundry area, and a checkerboard design for the built-in laundry hamper.

III. The home is associated with an individual who made a significant contribution to the development of Littleton: the city's first female mayor Sally Parsons

Sally R. Holz was born in April 1934 in Sandpoint, Idaho, to Walter and Hilda. She had a twin brother Fritz and an older sister Doris. Sally showed an early interest in government, studying civics in high school and participating in Girls State. This competitive, American Legion Auxiliary-sponsored program, established in 1937, chose a single male and female from each high school to spend the summer at a college campus in the state capital and learn the realities of state government. On 29 August 1954, Sally married Sandpoint native Robert W. Parsons. The newlyweds soon moved to Champaign-Urbana where Bob completed the final year of his undergraduate degree and then enrolled in the Ph.D. program in Engineering at the University of Illinois. Sally earned an MS in Food Sciences in 1956.

Upon graduation, multiple corporations recruited Bob for full-time employment. With the Soviet launch of the Sputnik satellite in 1957, the American government, believing they might fall behind their main Cold War rival, encouraged scientific education and space exploration. As part of this

Marathon Oil in Littleton

In the post-World War II era businesses were drawn to Colorado's climate, central location, and educated workforce. The Ohio Oil Company, a crude oil producer and gasoline processor/distributor originally established in 1887, broke ground for their new research and development laboratory in Littleton in 1955.

The lab originally employed 75 scientists and 25 support staff. By 1962, the facility had grown to accommodate 220 employees and formally changed its name to the Marathon Oil Company Research Center. The lab reached its peak employment of 351 scientists and staff in 1981.

In 2000 the Littleton lab closed, with much of the remaining research workforce relocating to Houston. Marathon donated surplus equipment to local schools. The seventy-seven-acre site is now a mixed-use development with more than 900 residences and a central greenspace.

pro-science initiative, established businesses also sought to apply advanced science to their methods and products, focusing on technological innovations. Sally was interested in moving back West and encouraged Bob to take a position with Marathon Oil Company in Littleton. It was the only recruiting visit where she accompanied her husband. The couple stayed several days at an Englewood motel (now the Lucky U) close to Marathon's newly built research and development laboratory at 7400 S. Broadway. While Marathon engineers interviewed Bob, the corporate wives wooed Sally with details about the Littleton community: its new homes, schools, and social opportunities. The recruitment continued into the evenings with Marathon couples inviting the Parsonses to dinners at the best area restaurants. The couple ultimately chose to move to Littleton and Bob accepted a job as a senior researcher with Marathon.

Sally and Bob's first Colorado home was at 6064 S. Fairfield Street. Coincidentally, it, too, was designed by architect Bruce Sutherland. That house was significantly smaller than 6777 Southridge Lane but featured similar Modern Movements design elements like a dominant brick chimney that extended from the foundation to above the roofline, clerestory windows, a roof with

overhanging eaves, and a breezeway between the garage and backyard.

The culture at Marathon was inclusive and community minded. There was an active recreation committee that organized softball, basketball, volleyball, and bowling leagues. The in-house *DRC Week* newspaper, according to Bob's history of Marathon, was established in 1963 and featured Dr. G.K. "Joe" Gunnel's column, "a more up-close and personal look at various goings-on around the lab... written in a Damon Runyonesque style." The lab made monetary contributions to nascent educational and cultural institutions in Littleton, including the Town Hall Arts Center, Bemis Library, YMCA, Little Britches Rodeo and Craig Hospital. Employees also donated their time. Bob Parsons was a Boys Scouts leader for several troops and mentored young scientists. Other employees became involved with the South Suburban Parks and Recreation Board, South Arapahoe Sanitation Board, and Littleton School Board. The wives of the scientists played their roles, too. Most volunteered to assist with new employee recruitment, serve on the local PTA, hold teas and social events for relocating scientists and their families, and welcome wives and children to Littleton with advice on schools, extracurricular activities, shopping, and available homes.

Bob and Sally Parsons had two sons: Brian, born on 24 March 1958, and Alan, born on 17 July 1961. Their growing family caused them to consider a larger home. Two important Marathon connections were instrumental in the Parsonses finding and financing 6777 Southridge Lane. The original owners of the home were Lloyd and Carrel Pray. Lloyd was a carbonate researcher at Marathon. The couple had four children, with the fourth born in 1968. The Prays decided they, too, needed a larger home and he accepted a job as a geology professor at the University of Wisconsin. To sell their Littleton home, Lloyd posted an advertisement on a bulletin board at Marathon. Bob Parsons saw Lloyd's "For Sale" notice and he and Sally quickly toured the home. Sally loved the house and promised Bob, if they were able to purchase it, she would never leave. Marathon made this dream come true by signing a promissory note for \$30,000 on 19 July 1968. The Parsonses agreed to make monthly payments of \$225 to the company to repay this sum at 6.75 percent interest. Sally remembers this process of obtaining financing from the company as "very simple, we just applied." But she noted it may have been easier because the Prays had a similar arrangement with Marathon. The company assisted with their financing for construction of this house; their deal was at 5.25 percent interest on a \$20,000 loan with monthly repayments of \$150.

Through both Marathon and her personal connections, Sally was active in the Littleton community. She was the first female elder at the First Presbyterian Church, served on both the school district study committee and as the PTA Board President, and was a member of the Mile High United Way Board of Trustees. Sally worked as a legislative analyst and lobbyist for Special Districts-Parks and Recreation for six years. She also was a member of the Ad Hoc Commission for I-470, served as president of the Arapahoe County League of Women Voters, and participated on the DRCOG Citizens Advisory Committee for three years.

Sally made her first foray into elected local politics in 1973 when she ran for Littleton City Council. Various campaign brochures illustrated her qualifications, personal background, beliefs, and goals. Overall, she was people-focused and wanted greater governmental transparency for local citizens. Sally listed her personal attributes of competence, perspective, energy, and integrity as assets for her election to City Council and promised to bring a positive approach to local government.

In 1977 Councilman Vaughn Gardinier nominated Sally for mayor. After a vote of the City Council, she became Littleton's first female mayor. Her two-year tenure included numerous accomplishments during a time when the city was growing and changing.

Key Milestones of the Parsons Administration included:

- Completion of South Platte Park
- Relocation of City Government to Littleton Center
- Solution for Bowles Avenue traffic congestion
- Depression of railroad tracks
- Launch of Littleton-wide traffic study
- Creation of South Industrial neighborhood
- Establishment of Youth Employment Office
- Enhanced services for young people with legal issues

She invited President Jimmy Carter to visit both the Littleton Center and solar projects for the local housing authority as part of his "Sun Day" trip to Colorado. Showing her signature good humor, she distributed annual, unofficial Crabby-Appleton awards to recognize the best and worst from municipal employees, City Council, and area agencies operating in Littleton. After her mayoral service was complete, Sally returned to the City Council until 1983.

In 1986, after Sally finished her political career and Bob retired from Marathon, the couple purchased the Spinning Wheel dry cleaners on Littleton Boulevard. They chose this business because, as noted in an *Exclusively Littleton* article, they felt like they "needed to be 'repotted'-- to get new roots-- a new challenge." This job also allowed both of them to apply their knowledge of chemistry and technology while learning the new skill of managing employees. Sally and Bob sold this business in 1994. Bob passed away on 13 March 2009 and Sally continues to live at 6777 Southridge Lane.

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PHOTO LOG

All images by Mary Therese Anstey - 24 October 2025

Image #	Description
southridgeln6777-1	Façade, garage, breezeway
southridgeln6777-2	Primary entry, facade
southridgeln6777-3	Breezeway from driveway
southridgeln6777-4	Primary entry
southridgeln6777-5	North side of garage
southridgeln6777-6	Rear (northeast) of garage, patio
southridgeln6777-7	Rear (east) of garage, patio
southridgeln6777-8	Rear (southeast) of dining room, patio
southridgeln6777-9	View from backyard looking west
southridgeln6777-10	Rear (west) dining room, living room, private wing (partial)
southridgeln6777-11	Rear (west) dining room, living room, private wing
southridgeln6777-12	Rear (southwest) private wing, living room
southridgeln6777-13	Side (north)



southridgeln6777-1



southridgeln6777-2



southridgeln6777-3



southridgeln6777-4



southridgeln6777-5



southridgeln6777-6



southridgeln6777-7



southeridgeIn6777-8



southeridgeIn6777-9



southernridgeIn6777-10



southernridgeIn6777-11



southernridgeIn6777-12



southridgeln6777-13



Staff Communication

File #: Resolution 46-2026, **Version:** 1

Agenda Date: 06/16/2026

Subject:

Resolution 46-2026: Approving a funding request for South Metro Housing Option's Starlight affordable housing project

From:	James L. Becklenberg, City Manager
Prepared by:	Kathleen Osher, Deputy City Manager Julie Latham, Housing Policy Manager
Presentations:	N/A

PURPOSE:

Consideration of a funding request from South Metro Housing Options (SMHO) to support the construction of Starlight, an affordable multi-family project that will create 72 new housing units in Littleton for families earning between 30-70% of the Area Median Income.

LONG-TERM OUTCOME(S) SERVED:

Robust and Resilient Economy

DISCUSSION:

As the SMHO Commission and staff shared during the annual joint study session with council on May 12, 2026, rising construction costs and uncertainty in soft funding sources have resulted in a projected funding gap of approximately \$3.5M on their Starlight project. SMHO is working to close this gap through grants from the Colorado Division of Housing, Arapahoe County, deferred developer fees, and the City of Littleton. As such, SMHO is requesting \$1M from the city's Affordable Housing Fund, which will help close their funding gap and leverage other funding resources.

BACKGROUND:

During the May 12th joint study session, SMHO outlined financing details for the \$32M Starlight project, the numerous funding sources required, and the challenges that are creating a gap in funding. SMHO also provided an anticipated project timeline, including a Colorado Housing and Finance Authority (CHFA) application in August 2026, construction start in spring of 2027 if the CHFA application is successful, and estimated project completion in summer 2028.

Starlight redevelops property at the corner of W Littleton Blvd and Delaware to create 72 income aligned multifamily units for families earning 30-70% of the Area Median Income. The location offers walkable, bikeable access to employment centers, grocery stores, parks, schools, and public transit. The project will also include eight foster youth vouchers to support those aging out of the foster care system.

The Inclusionary Housing Ordinance (IHO) went into effect November 1, 2022, with a requirement that 5% of

new units be affordable for residential projects with 5 units and up, and that applicants could comply by either building units or paying a fee in lieu. The IHO stipulates that the funds collected from the fee in lieu be utilized by the city for the purposes of planning for, subsidizing, acquisition of properties for, or developing affordable housing in partnership with other organizations. The city established the Affordable Housing Fund to accept these payments and developed a policy on the review criteria and disbursement process for funds. The fund has collected \$3.6M from inclusionary housing fee-in-lieu payments to date, with \$1,990,929 committed for disbursement, leaving available funds of approximately \$1.6M

SMHO's request for support meets the Affordable Housing Fund criteria as outlined below:

- The request supports 100% affordable properties that are deed, covenant, or otherwise restricted to ensure long-term (30+ years) affordability. Requests that create new formally restricted affordable units or extend the affordability of existing ones are in alignment with IHO parameters
 - √ Yes, units are formally restricted for 40 years to serve 30-70% area median income levels
- The project is located within city limits
 - √ Yes
- The requested funding fills a demonstrable financing gap
 - √ Yes, it is a challenging construction environment and SMHO provided details on their funding stack
- A preference but not requirement that the funding leverages other resources, such as county, state, or federal funds
 - √ Yes, SMHO is applying for the 4% Low-Income Housing Tax Credit (LIHTC) program and the city's funding support will help the competitiveness of that application. The project is also anticipating funding from the Colorado Department of Housing and Arapahoe County, as well as 2025 PAB allocations from the City of Englewood and the City of Centennial.

Supporting this request aligns directly with the city's adopted goals and the 2027 Strategic Plan initiative to cultivate a favorable environment for housing development across all income levels. Additionally, the Denver Regional Council of Government's (DRCOG) recent Regional Housing Needs Assessment identified households earning at the 0-50% AMI levels as the area of greatest need for additional housing in Littleton, which this project helps address.

Prior Actions or Discussions

- Annually City Council hosts a joint meeting with the SMHO Board of Commissioners during a study session to receive an update on the activities of the city's housing authority.
- In 2026 the annual joint study session was held on May 12, 2026, and council provided direction to staff to bring forward a resolution providing funding from the Affordable Housing Fund for Starlight.

FISCAL IMPACTS:

The Affordable Housing Fund currently has approximately \$1.6M available to support affordable housing projects. This funding request would reduce available funds.

STAFF RECOMMENDATION:

Staff recommends adoption of Resolution XX-2026 to approve SMHO's funding request in support of Starlight and authorizing the City Manager to sign the funding agreement on behalf of the city.

ALTERNATIVES:

Council could fund at varying levels or deny the funding request.

PROPOSED MOTION:

I move to approve Resolution 46-2026 approving a funding request for South Metro Housing Option's Starlight affordable housing project.

1 **CITY OF LITTLETON, COLORADO**

2
3 **Resolution No. 46**

4
5 **Series, 2026**

6
7 **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LITTLETON,**
8 **COLORADO, APPROVING A FUNDING REQUEST FOR SOUTH METRO**
9 **HOUSING OPTION’S STARLIGHT**

10
11 **WHEREAS,** South Metro Housing Options is the City of Littleton’s Housing
12 Authority and provides affordable housing solutions in Littleton; and

13
14 **WHEREAS,** GOAL H&N 1 of the City of Littleton’s Comprehensive Plan
15 identifies the desired outcome and long term goal of a quantity and diversity of housing options
16 that makes living in Littleton attainable for a wide range of age groups and income levels;

17
18 **WHEREAS,** the City adopted an Inclusionary Housing Ordinance (Ordinance No.
19 27, Series, 2022) to help address the numerous housing gaps and needs identified within the City;

20
21 **WHEREAS,** the Inclusionary Housing Ordinance established compliance options
22 that allow residential developers to pay a fee in lieu or provide affordable units onsite;

23
24 **WHEREAS,** the City created the Affordable Housing fund to collect fee in lieu
25 payments, with the express purpose to expend them in planning for, subsidizing, acquisition of
26 properties for, or developing affordable housing in partnership with other organizations;

27
28 **WHEREAS,** the Affordable Housing fund is governed by policies and procedures
29 reviewed by City Council, ensuring that funds are allocated in a transparent and equitable manner
30 in alignment with the City’s housing goals;

31
32 **WHEREAS,** South Metro Housing Options has submitted a request for funding
33 assistance to support the construction of Starlight, an affordable multifamily housing project in
34 Littleton;

35
36 **WHEREAS,** Starlight will result in 72 new affordable units serving families
37 earning 30-70% of the Area Median Income, including eight foster youth vouchers, contributing
38 to the City’s housing goals;

39
40 **WHEREAS,** City staff has reviewed the request and determined that it meets the
41 eligibility requirements and funding criteria established for the use of the Affordable Housing
42 fund;

43
44 **NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF**
45 **THE CITY OF LITTLETON, COLORADO, THAT:**

46

47 Littleton City Council will contribute \$1,000,000 in available Affordable Housing
48 funds to support the construction of the Starlight project.

49
50 INTRODUCED, READ AND ADOPTED at a regularly scheduled meeting of the
51 City Council of the City of Littleton, Colorado, on the 16th day of June 2026, at 6:30 p.m. at the
52 Littleton Center, 2255 West Berry Avenue, Littleton, Colorado.

53 ATTEST:

54

55

56 _____
57 Colleen L. Norton
58 CITY CLERK

Kyle Schlachter
MAYOR

59 APPROVED AS TO FORM:

60

61

62 _____
63 Reid Betzing
CITY ATTORNEY





South Metro Housing Options

Mr. Jim Becklenberg
City Manager
City of Littleton
2255 West Berry Avenue
Littleton, CO, 80120

RE: Funding request for Starlight Affordable Housing

Dear Mr. Becklenberg,

South Metro Housing Options (SMHO) is underway on its newest affordable housing development, Starlight. Situated along the Littleton Boulevard corridor, the community is designed for residents earning 30-70% of the Area Median Income (AMI) and offers walkable, bikeable access to employment centers, grocery stores, parks, retail, and schools. Residents will also benefit from convenient connections to RTD bus lines and the downtown Littleton light-rail station.

The total project cost is estimated to be \$32M. This project will be primarily capitalized through equity generated by the sale of Low-Income Housing Tax Credits (LIHTCs) and debt financing via a first mortgage. However, rising construction costs and uncertainty surrounding soft funding sources have resulted in a projected funding gap of approximately \$3,500,000. SMHO anticipates closing this gap through grants from the City of Littleton, Colorado Division of Housing, Arapahoe County, and deferring developer fees.

South Metro Housing Options is proud of what we have accomplished through our partnership with the city of Littleton and remains deeply grateful for your commitment to affordable housing. We respectfully encourage your investment in our partnership that will continue to address the housing affordability crisis in our state. SMHO formally requests One Million Dollars (\$1,000,000) from the city of Littleton for the upcoming Starlight project.

Thank you for your leadership and your dedication to ensuring that all have access to safe, stable, and affordable housing. We welcome the opportunity to discuss our work further at your convenience.

Sincerely,

Corey Reitz
Executive Director
South Metro Housing Options



Staff Communication

File #: ID# 26-131, **Version:** 1

Agenda Date: 06/16/2026

Subject:

Motion authorizing the Mayor's Signature on a Letter of Support for development of the Front Range Passenger Rail District Station at Mineral Station in Littleton, Colorado

From:	James L. Becklenberg, City Manager
Prepared by:	Kathleen Osher, Deputy City Manager
Presentations:	N/A

PURPOSE:

Provide a letter of support and approve the station summary narrative to receive a ten percent incentive annually as part of the proposed \$2.0 million station-area grant program for Front Range Passenger Rail.

LONG-TERM OUTCOME(S) SERVED:

Vibrant Community with a Rich Culture; Robust and Resilient Economy; Safe Community

DISCUSSION:

Initially offering service from Fort Collins to Denver Union Station, then Denver Union Station south to Colorado Springs with service south to Pueblo planned in a future expansion, the Front Range Passenger Rail (FRPR) intercity train service has the long-term vision of connecting Colorado to New Mexico and Wyoming.

FRPR anticipates using existing tracks shared with freight railroads to minimize costs and accelerate the service start date which is anticipated over the next 15-20 years. The district continues to explore a potential ballot question in November 2026. In the 2026 legislative session the boundaries were narrowed to include only municipalities that directly benefit from and support the line along the Front Range in anticipation of heading the polls. The district is considering a sales tax increase (estimated between 0.25% to 0.5%) to generate an estimated \$262 million annually for the system. If approved, the funding will support the future passenger train line recently named the "Colorado Connector" (or "CoCo"). If the tax passes in November 2026, the first phase of the starter service connecting Denver and Fort Collins is projected to begin as early as 2029, with full corridor service to Pueblo by 2032.

Littleton is anticipated as the first station south of Denver Union Station along the Front Range Passenger Rail alignment. Council provided direction during general business of the regular meeting on March 17, 2026, to continue planning with the district for a platform at the Mineral Station.

Prior to June 30, 2026, the FRPRD seeks a statement of local support as well as the city's adoption of the Littleton's station summary narrative for Mineral Station.

If the city provides a letter of support and adopts the station summary narrative prior to June 30, 2026, the city

is then eligible for a ten percent incentive in addition to the twenty-five-year annual station-area grant proposed for each community hosting a passenger rail station. The City of Littleton will be eligible for \$2.0 million annually based on its community population. These grants would be available only after the successful passage of the ballot measure and could support the design, construction, operation, and maintenance of a passenger rail station as well as broader station-area investments that enhance access, connectivity, and functionality, including multimodal access and first- and last-mile improvements.

BACKGROUND:

The Front Range Passenger Rail District is an independent taxing district with the vision of bringing intercity passenger rail to Colorado. The district is empowered to plan, design, develop, finance, construct, operate and maintain an interconnected passenger rail system along the Front Range that will provide increased connectivity to Front Range cities and have competitive travel times compared with other modes of surface transportation. CDOT has been supporting the district with technical analysis, design, planning, and advice.

Prior Actions or Discussions

- Staff presented a comparison of the Littleton-Downtown and Littleton-Mineral Stations for a future Front Range Passenger Rail station and Council determined Mineral Station as the preferred alternative on March 17, 2026.
- The Front Range Passenger Rail District introduced its new General Manager and provided an update on February 17, 2026.
- Staff provided comments and memo to the FRPRD on the draft SDP and Station Area Analysis in March 2025.
- The Front Range Passenger Rail District provided an introduction, overview of the district, update on service development planning, and local station planning on December 10, 2024.

FISCAL IMPACTS:

There is no fiscal impact associated with this letter of support; however the letter of support does make the city eligible for a ten percent increase in annual payments of the station area municipal grants pending voter approval to fund the Colorado Connector passenger rail service.

STAFF RECOMMENDATION:

Staff recommends signature of the letter of support and adoption of the station summary narrative.

ALTERNATIVES:

N/A

PROPOSED MOTION:

I move to authorize the Mayor’s Signature on a Letter of Support for development of the Front Range Passenger Rail District Station at Mineral Station in Littleton, Colorado.



June 16, 2026

Sal Pace
General Manager
Front Range Passenger Rail District
1756 West 36th Avenue
Denver, CO 80211

Dear Mr. Pace:

The City of Littleton appreciates the opportunity to continue collaborating with the Front Range Passenger Rail District (FRPRD) as planning efforts progress for potential passenger rail service along Colorado's Front Range.

It is the city's understanding that following voter approval of a regional funding measure, the FRPRD will provide annual station-area grants for a 25-year period to each community hosting a passenger rail station and the City of Littleton will be eligible for \$2.0 million annually based on its community population. Station-Area Municipal Grants funds can support the design, construction, operation, and maintenance of a passenger rail station, and may support broader station-area investments that enhance access, connectivity, and functionality, including multimodal access and first- and last-mile improvements.

The City of Littleton formally adopts the attached Addendum A Station Summary Narrative describing the City's station-area location, planning efforts to date, and anticipated post-ballot planning. FRPRD may share this narrative publicly to reflect the City's current understanding of station-area conditions and planning direction. This narrative is non-binding and remains subject to refinement through future local decision-making processes. As a result of this adopted narrative, the city is then eligible for the additional 10% increase to its annual Station-Area Municipal Grant.

The City of Littleton supports the continued efforts of the FRPRD to plan and develop passenger rail service along the Front Range of Colorado and encourages the continued coordination among the FRPRD, CDOT, host freight railroads, and local governments to ensure a thoughtful and collaborative approach to planning and implementation.

The city and staff look forward to continuing to collaboratively work with the FRPRD on station planning, land-use coordination, infrastructure integration, and opportunities to maximize local economic benefit as this important regional initiative advances.

Sincerely,

Kyle Schlachter
Mayor

ADDENDUM A – STATION SUMMARY NARRATIVE

Littleton

Littleton’s Mineral Station marks the southern gateway to the Denver metro region on the Colorado Connector service corridor — positioned at the convergence of the BNSF/UP Consolidated Mainline, RTD’s existing D Line Mineral station, the South Platte River corridor, and Mineral Avenue, one of the region’s primary east-west mobility spines. The proposed Front Range Passenger Rail intercity rail platform would be integrated directly into the existing RTD light rail station, linking regional and intercity service at a single, consolidated transit hub. Achieving that integration will require coordinated planning and investment among the FRPRD, RTD, and the City of Littleton.

Established Littleton neighborhoods extend both east and west of the station, with regional shopping and lifestyle district immediately to the north and housing development underway to the south. The South Platte River corridor — including the Mary Carter Greenway and access to the Highline Canal Trail and C-470 Trail — provides a heavily used active transportation network that feeds directly to the station area. Mineral Avenue serves as the primary road connection, with strong access from surrounding communities and the broader southern metro region.

The Littleton Mineral Station area is already in motion. The City of Littleton has invested more than \$30 million over the past decade at the Santa Fe Drive and Mineral Avenue intersection — redesigning access, adding multimodal connections, and facilitating more than 1,800 new residential units in the surrounding area. Independent economic analysis projects that a Front Range Passenger Rail stop here could contribute approximately \$750 million to Littleton’s economy over 30 years, spur \$325 million in new development, and generate more than 1,600 jobs — a foundation that station area planning with the City will be positioned to build upon.



Staff Communication

File #: Resolution 42-2026, **Version:** 1

Agenda Date: 06/16/2026

Subject:

Resolution 42-2026: Approving an Intergovernmental Agreement between School District Number 6, Arapahoe County, Colorado D/B/A Littleton Public Schools and the City of Littleton for School Resource Officers

From:	James L. Becklenberg, City Manager
Prepared by:	Gene Enley, Interim Chief of Police
Presentations:	N/A

PURPOSE:

This is an updated and revised IGA between Littleton Public Schools (LPS) and the Littleton Police Department (LPD) regarding School Resource Officers (SRO).

LONG-TERM OUTCOME SERVED:

Safe Community

DISCUSSION:

The LPD has staffed full-time SROs in all LPS middle and high schools for over a decade. The LPD/LPS partnership is very strong and both parties believe the SRO program offers multiple positive benefits including increased security for students and staff, enhanced relationships between community youth and officers, and direct lines of communication between schools and the LPD. Officer duties and responsibilities are also modified to comply with changes in state law and district policies.

BACKGROUND

The SRO program is highly valued by the LPD, LPS, and the Littleton Community. This IGA continues the cohesive relationship between the LPD, LPS, and the Littleton Community. This IGA updates language it includes any changes in state law and district policies.

Prior Actions Or Discussions:

The current IGA was reviewed and approved by Council as Resolution # 57-2023 on July 18, 2023.

FISCAL IMPACTS:

The current IGA has no additional fiscal impacts. The annual cost for SRO's is approximately \$1.3 million of which LPS pays half and the balance is budgeted in the City's police department.

STAFF RECOMMENDATION:

Staff recommends approval of the resolution approving an IGA between Littleton Public Schools and the Littleton Police Department for School Resource Officers.

ALTERNATIVES:

N/A

PROPOSED MOTION:

I move to approve Resolution 42-2026 approving an Intergovernmental Agreement between School District Number 6, Arapahoe County, Colorado D/B/A Littleton Public Schools and the City of Littleton for School Resource Officers.

1 **CITY OF LITTLETON, COLORADO**

2
3 **Resolution No. 42**

4
5 **Series, 2026**

6
7 **A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF**
8 **LITTLETON, COLORADO, APPROVING AN INTERGOVERNMENTAL**
9 **AGREEMENT BETWEEN SCHOOL DISTRICT NUMBER 6,**
10 **ARAPAHOE COUNTY, COLORADO D/B/A LITTLETON PUBLIC**
11 **SCHOOLS AND THE CITY OF LITTLETON FOR SCHOOL RESOURCE**
12 **OFFICERS**

13
14 **WHEREAS,** the School District and the City of Littleton Police Department desire to
15 place School Resource Officers at Littleton High School (1), EPIC Center (1), Heritage High
16 School (1), Powell Middle School, Goddard Middle School (1), Euclid Middle School (1) and
17 Options Secondary High School (1) and their neighborhoods; and

18
19 **WHEREAS,** this IGA formalizes the relationship between the participating entities in
20 order to foster an efficient and cohesive program that will build a positive relationship between
21 law enforcement and the youth of our community, with the goal of reducing crime committed by
22 juveniles and young adults.; and

23
24 **WHEREAS,** this IGA delineates the mission, organizational structure, and procedures of
25 the School Resource Officer Program as a joint cooperative effort between Littleton Public
26 Schools and the City of Littleton Police Department. The success of this program relies upon the
27 effective communication between all involved employees, the principal of each individual
28 Littleton Public Schools, and other key staff members of each organization.

29
30 **NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF**
31 **THE CITY OF LITTLETON, COLORADO, THAT:**

32
33 **Section 1.** The Intergovernmental Agreement between School District Number 6,
34 Arapahoe County, Colorado D/B/A Littleton Public Schools, the City of Littleton for School
35 Resource Officers is hereby approved.

36
37 **INTRODUCED, READ AND ADOPTED** at a regularly scheduled meeting of the
38 City Council of the City of Littleton, Colorado, on the 16th day of June 2026, at 6:30 p.m. at the
39 Littleton Center, 2255 West Berry Avenue, Littleton, Colorado.

41 ATTEST:

42

43

44 _____
Colleen L. Norton

45 CITY CLERK

46

47 APPROVED AS TO FORM:

48

49

50 _____
Reid Betzing

51 CITY ATTORNEY

Kyle Schlachter

MAYOR



INTERGOVERNMENTAL AGREEMENT
BETWEEN
SCHOOL DISTRICT NUMBER 6, ARAPAHOE COUNTY, COLORADO, D/B/A
LITTLETON PUBLIC SCHOOLS
AND
THE CITY OF LITTLETON
FOR SCHOOL RESOURCE OFFICERS

This Intergovernmental Agreement (“IGA”) is made and entered into this 1st day of August 2026, by and between SCHOOL DISTRICT NUMBER SIX, ARAPAHOE COUNTY COLORADO, d/b/a LITTLETON PUBLIC SCHOOLS, hereinafter referred to as “School District” and CITY OF LITTLETON, hereinafter referred to as “City”.

RECITALS

WHEREAS, the School District and the City of Littleton Police Department desire to place School Resource Officers (SRO) at Littleton High School (1), EPIC Center (1), Heritage High School (1), Powell Middle School (1), Goddard Middle School (1), Euclid Middle School (1), and Options Secondary High School (1), and their neighborhoods.

WHEREAS, this IGA formalizes the relationship between participating entities in order to foster an efficient and cohesive program that will build a positive relationship between law enforcement and the youth of our community, with the goal of reducing crime committed by juveniles and young adults.

WHEREAS, this IGA delineates the mission, organizational structure, and procedures of the School Resource Officer Program (hereinafter the “SRO Program”) as a joint cooperative effort between Littleton Public Schools and the City of Littleton Police Department. The success of this program relies upon the effective communication between all involved employees, and the principal of each individual school within the District, and other key staff members of each organization.

WHEREAS, the School District has agreed to reimburse the City for one-half of the cost of placing the officers at the schools (See Step 11);

NOW, THEREFORE, IN CONSIDERATION of the mutual covenants herein contained, the parties hereto agree as follows:

1. The mission of the SRO Program is the reduction and prevention of school-related violence and crime committed by juveniles and young adults. The SRO Program aims to create and maintain safe, secure, and orderly learning

environments for students, teachers, and staff. This is accomplished by assigning Law Enforcement Officers employed by the City of Littleton Police Department (hereinafter referred to as “SRO”) to the Littleton Public Schools facilities on a permanent basis.

2. The City shall assign School Resource Officers at Littleton High School (1), EPIC Center (1), Heritage High School (1), Powell Middle School (1), Goddard Middle School (1), Euclid Middle School (1), and Options Secondary High School (1) as SROs to serve on a full-time, year-round basis, excluding City of Littleton Police authorized leaves such as vacation or sick leave, to perform duties primarily within those schools and their neighborhoods. When the SROs will be out, notification will be made to the local School Administrator.
3. The City of Littleton Police Department shall appoint the SROs based solely on the department’s selection criteria but shall include the school principal and the security department in the selection process as practical. Per the State of Colorado Bill 22-1376, the employing Law Enforcement agency and school district will jointly create an evaluation process to evaluate SROs.
4. The SROs shall at times be employees of the City, and their duties will be determined solely by the City after consultation with the School District. The SRO shall be considered a “school official” as defined by the Family Educational Right and Privacy Act (FERPA).
5. The City shall supervise the SROs, who shall be subject to discipline under the City of Littleton Police Department’s policies and procedures and the City’s personnel policies and procedures. Both parties agree to work cooperatively to address any performance concerns or conflicts involving an assigned SRO.
6. The general duties, roles, and responsibilities of the SROs shall include law, traffic, and parking enforcement; investigative follow-up; and community problem solving. The SROs shall not be used as disciplinarians. All discipline will be handled by the School District and their staff. All SROs will understand that the School District utilizes a restorative approach and seeks to minimize the use of law enforcement intervention. Principals or their designees may request the assistance of an SRO for the purpose of safety when conducting a school investigation, including searches. However, if an SRO initiates a law enforcement investigation of a student or a search on a School District property based on probable cause, the SRO is responsible for notifying the principal/designee. The SRO is responsible for notifying the parent(s) if a

student is identified as a suspect and will be interviewed as part of a criminal investigation. The school administrator and/or School District shall be responsible for any other notifications to the parent(s). The school administrator should ensure staff cooperates with the law enforcement investigations or actions related to crime or criminal activity on any campus, but, in the event, law enforcement ultimately remains responsible for conducting any such investigation or action. Per the State of Colorado Bill 22-1376, an SRO or a Law Enforcement Office acting in the Officer's Official Capacity on school grounds, in a school vehicle or at a school activity or sanctioned event shall not use handcuffs on any student, unless there is a danger to themselves or others or handcuffs are used during a custodial arrest that requires transport.

The SROs will work 15 minutes before school, through the school day, and 15 minutes after school. SROs are required to attend all mandatory training through the department in order to maintain their POST certification. The City of Littleton Police Department's office will provide a backup SRO, if available. If no backup is available, then notification will be made to the District so they can provide coverage while the SRO is out. The SROs are permitted to work after-school events. The School District shall provide the officers with a secure workspace where the SRO can conduct interviews, meetings, and attend to tasks as assigned. At a minimum, SROs will participate in the School District's training on procedures for FERPA, threat assessment, suicide intervention, and juvenile sexual offender management. The SRO will notify their respective school principal if they will be absent due to illness, other personal leave, or vacation.

Additional duties of SROs shall include:

- a. Providing law enforcement and police services to school grounds and areas adjacent to the school.
- b. Establishing and maintaining a close partnership with school administrators in order to provide a safe school environment.
- c. Assisting school administrators in emergency crisis planning and building security matters.
- d. Being visible within the school community, attending and participating in school functions, building working relationships with the school's staff as well as with student and parent groups.

e. Developing and implementing classes in law-related education to support the educational efforts of the faculty and working closely with teachers in presenting law-related topics and the role of police in our society.

f. Working with school mental health staff and other student support staff to assist students and providing services to students involved in situations where referrals to service agencies are necessary; assisting in conflict resolution efforts to include participating in threat assessments held between the school, student, and parents.

g. Initiating interaction with students in the classroom and general areas of the school building; promoting the profession of law enforcement and being a positive role model; increasing the visibility and accessibility of the City of Littleton Police Department to the school and community.

h. The Littleton Police Department has a therapy canine that is assigned to the SRO at Euclid Middle School and Heritage High School. The Littleton Police Department hold the responsibility for the care and well-being of the canine as well as the interaction with students, staff, and community members. The SRO therapy canine can be utilized in the Littleton Public Schools covered by the Littleton Police Department. The SRO therapy dog will work alongside the handler and be utilized in a variety of situations, to include, but not limited to:

- Teaching classes
- Engaging with students in crisis
- Working with students with disabilities
- Aiding students seeking informal counseling
- Building relationships between students and Law Enforcement
- Comforting students in stressful situations

7. Pursuant to the Family Educational Rights and Privacy Act (FERPA), the SROs shall also be designated “school officials” as defined under 34 CFR § 99.31(a)(1)(B), to allow the disclosure of personally identifiable information from an education record of a student without consent. The Parties agree that the SROs will, among other duties, perform institutional services or functions for which the District would otherwise use employees, such as participation on threat assessments teams and consulting and intervening in certain school discipline situations. While serving in this capacity the SROs will have legitimate education interests, and thus access to the following records: directory information, behavioral records, attendance, and student schedules unless notified otherwise.

Therefore, in compliance with the requirements of FERPA, the SROs shall be under the direct control of the District with respect to the use and maintenance of education records disclosed to the SRO in the course of providing such services, and shall be subject to the requirements of 34 CFR § 99.3 (a) governing the use and disclosure of personally identifiable information from education records. Without limiting the foregoing and except as otherwise provided in this Agreement, the SROs shall not disclose any personally identifiable information to any other party without the prior consent of the parent or eligible student, unless disclosure is otherwise permitted under Federal and State laws. Nothing in this paragraph shall be construed as designating the SROs as an official of the District for any purpose other than compliance with FERPA. Furthermore, nothing in this Agreement shall be construed as designating the SROs as an employee of a public school for any purpose, including but not limited to, Colorado Governmental Immunity Act (CGIA), Section 24-10-106.3.

8. To obtain any additional educational records, the SRO must sign a records request form (this includes requests for files of video or audio recordings from the School District's security systems). In the case of an imminent health or safety emergency, student information and records may be shared immediately between the school and the SRO. Any information obtained through the School District system shall only be used for active investigations by the City of Littleton Police Department.
9. The SROs may use body-worn cameras at their discretion. Any footage obtained by a recording from body camera worn by the SRO will be maintained by the City of Littleton Police Department and will not be an educational record under FERPA. Requests for body camera video must be done through the City of Littleton Police Department.
10. The SROs shall communicate on a regular basis, formally at scheduled meetings and informally as required, with school administrators, staff, students, parents, and neighborhood residents.
11. The School District shall reimburse the City annually for fifty percent (50%) of the cost of the SRO positions to include salary and benefits, uniform allowance and equipment, vehicles, gasoline, and vehicle maintenance. The City shall provide the School District with a semi-annual invoice for these costs.
12. The SROs shall be subject to emergency calls and assignments outside of the schools and/or neighborhoods when their services are required, as determined

by the sole discretion of the City.

13. Nothing in this Agreement shall be construed as a waiver by any Party of the protections afforded pursuant to the CGIA, Sections 24-10-101 et seq., C.R.S. The same may be amended from time to time. Specifically, no Party to this Agreement waives the monetary limitations or any other rights, immunities or protections afforded by the CGIA or otherwise available at law.
14. The term of this Agreement will be from August 1, 2026 until June 30, 2030. No amendment or modification of this agreement shall be valid unless expressed in writing, executed by the parties hereto in the same manner as the execution of this Agreement. This Agreement may be terminated by thirty (30) days' written notice given by either party.
15. This Agreement contains the entire agreement between the parties, and any written or oral agreements, which are different from the terms, conditions, and provisions of this Agreement, shall be of no effect and shall not be binding upon either party.
16. Nothing contained herein is intended to, nor shall any provision hereof be deemed to create any debt or multi-fiscal financial obligation on the part of either party hereto. Each party's financial obligations hereunder are subject to its annual budget and appropriation of funds.
17. This Agreement does not and shall not be deemed to confer upon any third party any right to claim damages to bring suit or other proceedings against the City of Littleton Police Department or the School District.

All notices required hereunder shall be given to:

Littleton Public School District # 6
Superintendent of Schools
5776 South Crocker Street
Littleton, CO 80120

City of Littleton
Jim Becklenberg, City Manager
2255 W Berry Avenue
Littleton, CO 80120

All notices so given in writing shall be effective upon receipt when hand delivered, or upon mailing if notice is given by first class mail. This Agreement is made and delivered in the State of Colorado, and shall be construed and enforced in accordance with the laws thereof.

LITTLETON PUBLIC SCHOOLS

City of Littleton

Dr. Todd Lambert, Superintendent

Kyle Schlachter, Mayor

Date

Date

APPROVED AS TO FORM:

Reid Betzing, City Attorney

Date



Staff Communication

File #: ID# 26-135, **Version:** 1

Agenda Date: 06/16/2026

Subject:

Motion to approve minutes of the June 2, 2026, regular meeting and June 9, 2026 special meeting of Littleton City Council

Prepared by: Wendy J. Shea-Tamag, Deputy City Clerk

RECORDING SECRETARY'S CERTIFICATION:

I hereby certify that the attached minutes are an accurate representation of motions made, and action taken at the June 2, 2026, regular meeting and June 9, 2026 special meeting of City Council. I have also reviewed the video recordings for the June 2, 2026, regular meeting and June 9, 2026 special meeting of the Littleton City Council and certify that the video recording is a full, complete, and accurate record of the proceedings and there were no malfunctions in the video.

PROPOSED MOTION:

I move to approve the minutes for the June 2, 2026, regular meeting and June 9, 2026 special meeting of City Council.



City of Littleton

Littleton Center
2255 West Berry Avenue
Littleton, CO 80120

Meeting Minutes - Draft

City Council

Tuesday, June 2, 2026

6:30 PM

Council Chamber

Regular Meeting

1. Roll Call

Present: 7 - Mayor Schlachter, Mayor Pro-Tem Peters, Council Member Grove, Council Member Henderson, Council Member Reichardt, Council Member Stillwell and Council Member Zink

2. Pledge of Allegiance

3. Approval of Agenda

4. Scheduled Appearances and Presentations - None

5. Proclamations - None

6. Public Comment

Bear Deardorff, Dist. IV – Love Bears All (healthy food bank)

Pam Chadbourne, Dist. I – City budgeting/3A/integrated budget

7. Comments / Reports

Mayor Pro Tem Peters - She and Council Member Henderson still have office hours at the library from 10:00am-12:00pm every Friday except during the council break (June 21-July 24). Got an email from the HOA president at Trailmark praising the public works department. Had a joint meeting last week with SSPRD and discussed a lot of items and love the shared partnership Littleton has with South Suburban.

Council Member Grove - The SSPRD meeting was very productive and they looked at updating the IGA. A lot of discussion about the motorized bikes on the trail. The Downtown Development Association hosted a Wine Walk which will continue through summer on the last Friday of the month. Can give feedback on sustainability, you can attend the Meet, Greet & Eats, fill out a resident survey, or you can always email staff.

Council Member Stillwell - After a discussion on storm water & sewer rates. He would like to see other ideas. The Block Party is a week away and encouraged everyone to attend.

Council Member Henderson - Attended the Wine Walk and it was a lot of fun. Farmers Market as started on Saturdays. Held a neighborhood block party and there are grants from the city for \$500 for a block party. Encouraged residents to take the opportunity to connect with neighbors.

Council Member Zink - Brought in a pride flag for Pride Month and working on getting one in front of the Littleton Center if it's possible. Wants the LGBTQ+ community to know that we have their back. Shouted out Littleton Q+ and suggested their website to get more information or to help out. Encouraged people who struggle to reach out to him or anyone they trust. He encouraged people to request a ballot by mail for the SSPRD elections. You must go to SSPRD.org/elections to find information on how to vote.

Council Member Reichardt - Brought his own pride flag to acknowledge Pride Month. Shouted out Public Works & the transportation team that did the Elati Street Corridor outreach. It was an innovative approach to the project. The important thing is safety and they discussed many options. Appreciated everyone who participated in that.

a) Council Members

Mayor Pro Tem Peters - She and Council Member Henderson still have office hours at Bemis Library from 10:00am-12:00pm every Friday; there will be no office hours during the council break (June 21-July 24). Received an email from the HOA president of Trailmark praising the Public Works department. Had a joint meeting last week with South Suburban Park & Recreation District (SSPRD); discussed a lot of items. Appreciative of partnership Littleton has with South Suburban.

Council Member Grove - The SSPRD meeting was very productive, and there was discussion about updating the current Intergovernmental Agreement (IGA) for services. A lot of discussion about motorized bikes on the trail. The Downtown Development Association hosted a Wine Walk which will continue through summer on the last Friday of the month. The city is looking for feedback on sustainability; you can attend the Meet, Greet & Eats, fill out a resident survey, or email staff.

Council Member Stillwell - Appreciated discussion on storm water & sewer rates; he would like to see potential other ideas. The Block Party is a week away and encouraged everyone to attend.

Council Member Henderson - Attended the Wine Walk; it was a lot of fun. Farmers Market has resumed on Saturdays. Held a neighborhood block party using a grant from the city for \$500; grants are available through application process. Encouraged residents to take the opportunity to connect with neighbors.

Council Member Zink - Brought in a pride flag for Pride Month and working on getting one in front of the Littleton Center if possible. Wants the LGBTQ+ community to know that we have their back. Shout out Littleton Q+ and directed folx to their website to get more information or to help out. Encouraged people who struggle to reach out to him or anyone they trust. He encouraged people to request a ballot by mail for the SSPRD elections. You must go to SSPRD.org/elections to find information on how to vote in South Suburban Park & Rec elections.

Council Member Reichardt - Brought his own pride flag to acknowledge Pride Month. Shout out to Public Works & the transportation team for work on the Elati Street Corridor outreach; it was an innovative approach to the project. The important thing is safety and they discussed many options. Appreciated everyone who participated in that.

b) Mayor

Recognized Littleton Police Officer Redmond who participated in the Sheild 616 bicycle ride which raises money for bullet proof vests for first responders. The ride is

from Colorado Springs to Fort Collins and back. Shout out to Cinde Anderson, front desk staff at the Littleton Center, who is retiring this week. Tomorrow morning is the Metro Mayors Caucus. The Town of Bowmar is still discussing putting up gates to restrict traffic. He and Mayor Johnson have sent a letter asking them not to do that as it will negatively impact the residents of Denver and Littleton, as well as other surrounding communities.

c) City Manager

Informed the public that the study session scheduled for June 9 will now be conducted as a special meeting. On the agenda will be discussion of a potential partnership agreement with 1st Street Farms. The joint meeting with the Arts & Culture Board been moved to July 28, 2026.

d) City Attorney

No report

8. Consent Agenda Items

- a) [Resolution 43-2026](#) Resolution 43-2026: Approving a Construction Contract with A-1 Chipseal Company for the 2026 Surface Sealing Project, City Project No. 25-02
approved
- b) [Resolution 44-2026](#) Resolution 44-2026: Approving the third amendment to the Professional Services Agreement with HDR Engineering, Inc. for design services on the Mineral Station West Multimodal Improvements Project
approved
- c) [Resolution 35-2026](#) Resolution 35-2026: Approving an amendment to the Intergovernmental Agreement between the Colorado Department of Human Services and the Littleton Police Department for Co-Responder Programs
approved
- d) **Ordinance 16-2026** Ordinance 16-2026: An ordinance on second reading amending Title 4, Building Regulations, Chapter 1 Building Codes, by adding Section (B)(33) Single Exit for Group R-2 Buildings
approved on first reading
- e) [ID# 26-126](#) Motion to approve minutes of the May 19, 2026, regular meeting of Littleton City Council
approved

Approval of the Consent Agenda

Mayor Pro Tem Peters moved and Council Member Henderson seconded to approve the consent agenda, items a through e. The vote is 7-0. The motion carries unanimously.

Aye: 7 - Mayor Schlachter, Mayor Pro-Tem Peters, Council Member Grove, Council Member Henderson, Council Member Reichardt, Council Member Stillwell and Council Member Zink

9. General Business

- a) [Resolution 37-2026](#) Resolution 37-2026: Approving an Intergovernmental Agreement (IGA) with the City of Englewood for the City Ditch Reach 2A project

Council Member Reichardt moved and Council Member Zink seconded to approve Resolution 37-2026 approving an Intergovernmental Agreement (IGA) with the City of Englewood for the City Ditch Reach 2A project. The vote is 7-0. The motion carries unanimously.

Aye: 7 - Mayor Schlachter, Mayor Pro-Tem Peters, Council Member Grove, Council Member Henderson, Council Member Reichardt, Council Member Stillwell and Council Member Zink

- b) [Resolution 38-2026](#) Resolution 38-2026: Approving a temporary construction easement agreement with the City of Englewood for the City Ditch Reach 2A project

Mayor Pro Tem Peters moved and Council Member Zink seconded to approve Resolution 38-2026 approving a temporary construction easement agreement with the City of Englewood for the City Ditch Reach 2A project. The vote is 7-0. The motion carries unanimously.

Aye: 7 - Mayor Schlachter, Mayor Pro-Tem Peters, Council Member Grove, Council Member Henderson, Council Member Reichardt, Council Member Stillwell and Council Member Zink

- c) [Resolution 39-2026](#) Resolution 39-2026: Approving relinquishment and grant of easements for the City Ditch Reach 2A project

Council Member Zink moved and Mayor Pro Tem Peters seconded to approve Resolution 39-2026 approving relinquishment and grant of easements for the City Ditch Reach 2A project. The vote is 7-0. The motion carries unanimously.

Aye: 7 - Mayor Schlachter, Mayor Pro-Tem Peters, Council Member Grove, Council Member Henderson, Council Member Reichardt, Council Member Stillwell and Council Member Zink

- d) [Resolution 40-2026](#) Resolution 40-2026: Approving a quit claim deed for the City Ditch Reach 2A project

Council Member Reichardt moved and Mayor Pro Tem Peters seconded to approve Resolution 40-2026 approving a quit claim deed for the City Ditch Reach 2A project. The vote is 7-0. The motion carries unanimously.

Aye: 7 - Mayor Schlachter, Mayor Pro-Tem Peters, Council Member Grove, Council Member Henderson, Council Member Reichardt, Council Member Stillwell and Council Member Zink

10. Ordinances on Second Reading and Public Hearings - None

11. Adjournment

Mayor Schlachter adjourned the meeting at 7:17p.m.



City of Littleton

Littleton Center
2255 West Berry Avenue
Littleton, CO 80120

Meeting Minutes - Draft

City Council

Tuesday, June 9, 2026

6:30 PM

Council Chamber

Special Meeting

1. Roll Call

Present: 7 - Mayor Schlachter, Mayor Pro-Tem Peters, Council Member Grove, Council Member Henderson, Council Member Reichardt, Council Member Stillwell and Council Member Zink

2. Pledge of Allegiance

3. Approval of Agenda

4. Public Comment

Candice Rutledge, Littleton – Harassment/Health issues

Billy Gooch, Dist. III – 1st Street Farms

Cully Cavness, - 1st Street Farms

Sarah Shepherd, Gastamo Group – 1st Street Farms

Bart Burger, Unincorp. JeffCo – 1st Street Farms

Cory Palmeiro, Dist. IV – 1st Street Farms

Kevin Weber, Carboy Winery/Angelo's Taverna – 1st Street Farms

Rory Bilocerkowycz, Architect - 1st Street Farms

Kal Murib, Business Owner - 1st Street Farms

Pat Dunahay, Dist. IV – 1st Street Farms

Matthew Myer, Culver's Owner - 1st Street Farms

Kelly Milliman, Dist. IV – 1st Street Farms

Alex Burkey, Dist. III – 1st Street Farms

Darcy Neelan, Dist. II - 1st Street Farms

Channing O'Dell, SPOA - 1st Street Farms

Andrew Schad, Dist. II – Punt Palace

Illiana Schad, Dist. II - 1st Street Farms

Pam Chadbourne, Dist. I – Comprehensive plan/1st Street Farms

Matt Cornwell, Brookhaven - 1st Street Farms

Barbara Rice, Dist. IV - losing charm

Miriam Dunham, Centennial – housing

Eric Hyatt, Dist. IV – 1st Street Farms

Frank Atwood, Dist. IV - 1st Street Farms/John Marchetti trail

5. General Business

- a) [ID# 26-125](#) Capital Improvement Sales Tax Board Update

*Session in recess at 7:42 p.m.
Session reconvened at 7:50 p.m.*

- b) [Resolution 45-2026](#) Resolution 45-2026: Approving a Partnership Agreement with Gastamo Group, LLC for the benefit of 1st Street Farms

Mayor Pro Tem Peters moved and Council Member Grove seconded to approve Resolution 45-2026 approving a Partnership Agreement with Gastamo Group, LLC for the benefit of 1st Street Farm.

Council Member Zink moved and Mayor Pro Tem Peters seconded to amend the agreement to replace references to Gastamo Group, LLC with 1st Street Farms, LLC. The vote on the amendment is 6-1 with Council Member Stillwell voting no. The motion to amend carries.

Vote on the main motion as amended is 4-3 with Mayor Schlachter and Council Members Reichardt and Stillwell voting no. The motion, as amended, carries.

Aye: 4 - Mayor Pro-Tem Peters, Council Member Grove, Council Member Henderson and Council Member Zink

Nay: 3 - Mayor Schlachter, Council Member Reichardt and Council Member Stillwell

6. Adjournment

Mayor Schlachter adjourned the meeting at 9:36 p.m.



Staff Communication

File #: ID# 26-118, **Version:** 1

Agenda Date: 06/16/2026

Subject:
City Workspace Expansion Proposal

From:	James L. Becklenberg, City Manager
Prepared by:	Brent Soderlin, Director of Public Works & Utilities Julie Rotter, Facilities Manager
Presentations:	Brent Soderlin, Director of Public Works & Utilities Julie Rotter, Facilities Manager

PURPOSE:

To present current space constraints and future workspace needs at the Littleton Center and to provide options for addressing those needs, including a proposed lease of the Wells Fargo building, near the intersection of Littleton Boulevard and Broadway.

LONG-TERM OUTCOME(S) SERVED:

High-Quality Governance

DISCUSSION:

Littleton City Center opened in 1977. Since then, Littleton’s population has grown by 73% and City staff (excluding the Police Department) have grown from 46 to 103 employees, or 126%. Demands to serve a growing population have been accompanied by the evolution of City services over almost 50 years. For example, in 1977, the City did not have dedicated staff for Information Technology, Communications and Marketing, Economic Development, or the specialized Community Development functions that exist today. Additionally, the Police Department’s expansion directly influenced City Administration space at the Littleton Center. Notably, a Police Department addition completed in 2010 expanded Police space by 36,000 square feet while also absorbing approximately 2,600 square feet of City Administration space. In addition, earlier growth efforts included a Fire Department expansion constructed in 1981, which is currently occupied by South Metro Fire Station #11. Together, these developments illustrate how evolving municipal priorities require periodic space realignment across City departments.

As a result of these shifts, the amount of space utilized by City Administration staff declined from 56,000 square feet in 2010 to approximately 53,400 square feet today, largely due to the conversion of space to Police Department use. Even with this reduced footprint, City Administration staffing at the Littleton Center increased from 46 employees in 1975 to 103 employees in 2025.

To accommodate this growth without expanding the building footprint, staff implemented several internal modifications:

- Subdivided 11 private offices into 22 smaller offices

- Converted four conference rooms into private offices (reducing conference rooms from nine to five)
- Increased open office workstations from 34 to 77
- Implemented shared workstation procedures in select workgroups

This operational footprint evolution has occurred over decades without a comprehensive workplace strategy. Interim operational modifications have extended capacity, but current conditions now warrant a combination of mid-term workspace actions and long-term portfolio planning through the Facilities Master Plan.

While overall building utilization has become significantly more space-efficient over time, the remaining administrative footprint now supports substantially more employees, collaborative functions, technology infrastructure, and public-facing operations than originally intended. The average square footage per employee has decreased by 50%.

Looking ahead, as municipal operations continue to evolve, thoughtful and strategic space planning will be essential to support effective service delivery. Addressing current constraints, maintaining compliance with building codes and accessibility requirements, and planning for future staffing needs will require targeted facility decisions.

To address near-term space pressures, staff evaluated available office space in the Littleton market. Based on cost, location, and lease structure, and current availability, the Wells Fargo building, located near the intersection of Littleton Boulevard and Broadway, presents a viable and cost-effective option.

The proposed lease includes:

- 9,962 square feet
- 10-year term
- Initial rate of \$15.50 per square foot
- 3% annual escalation
- Full-service lease structure (inclusive of property taxes, insurance, maintenance, and typically utilities and janitorial services)
- Tenant improvement allowance for carpet, paint, and minor wall modifications

This option allows the City to relieve immediate space constraints while maintaining operational proximity to the Littleton Center. The proposed lease should be viewed as an interim operational strategy rather than a standalone long-term facilities solution. The City's ongoing Facilities Master Plan effort is intended to evaluate the broader civic facilities portfolio holistically, including long-term space utilization, operational adjacencies, workplace standards, deferred maintenance considerations, and future growth planning across departments

BACKGROUND:

Over the past five decades, the City of Littleton has experienced substantial population growth, increasing from 26,466 residents in 1975 to an estimated 44,879 residents in 2025, a 73.33% increase. To meet the needs of the community, City staffing has grown from 166 employees in 1975 to 351 employees in 2025, representing an increase of more than 110%.

Within this broader staffing trend:

- City Administration staff at the Littleton Center increased from 46 to 103 employees (126% increase).
- Police Department staffing at the Littleton Center increased from 56 to 123 employees (117% increase).
- City staff at other locations increased from 64 to 125 employees (approximately 95% increase).

These figures reflect both population growth and the expansion of municipal services, including Information Technology, specialized public safety services, Community Development and Planning, Economic Development, and Communications and Marketing.

Prior Actions or Discussions

N/A

FISCAL IMPACTS:

The proposed Wells Fargo lease would include 9,962 square feet under a 10-year full-service lease agreement beginning in 2026 at \$15.50 per square foot with a 3% annual escalation.

The projected annual lease costs are as follows:

10 Year Lease Option		
Year	Cost per SF (\$)	Total Cost Per Year (\$)
2026	\$15.50	\$154,411.00
2027	\$15.97	\$159,093.14
2028	\$16.45	\$163,874.90
2029	\$16.94	\$168,756.28
2030	\$17.45	\$173,836.90
2031	\$17.97	\$179,017.14
2032	\$18.51	\$184,396.62
2033	\$19.07	\$189,975.34
2034	\$19.64	\$195,653.68
2035	\$20.23	\$201,531.26
2036	\$20.84	\$207,608.08
Total Cost over 10 Years =		\$1,978,154.34

Because the lease is structured as a full-service lease, the City’s financial exposure is highly predictable. Property taxes, building insurance, janitorial services, and typical operating costs are included in the rental rate, reducing the risk of variable operating expenses compared to modified gross or triple net leases.

Additional one-time costs may include minor furniture relocation, technology infrastructure setup, and move-related expenses, which would be addressed through existing capital or operating budgets.

STAFF RECOMMENDATION:

Staff recommends authorizing the City Manager to sign a Letter of Intent with SMHO for a 10-year full-service lease for approximately 9,962 square feet in the Wells Fargo building at \$15.50 per square foot with a 3% annual escalation.

Leasing this space provides a cost-effective and predictable solution to immediate workspace constraints,

supports operational efficiency, and allows the City to continue long-term facility planning without requiring significant upfront capital investment.

ALTERNATIVES:

1. Maintain Current Configuration at Littleton Center

Continue operating within the existing footprint by further increasing shared workspaces and reducing collaborative areas.

Impacts: Likely to reduce employee productivity, eliminate additional meeting space, and negatively affect service delivery and workplace functionality.

2. Construct an Addition to the Littleton Center

Design and build additional square footage to permanently address space needs.

Impacts: Requires significant capital investment, extended design and construction timelines, and potential voter approval depending on funding structure.

3. Purchase a Building Instead of Leasing

Acquire commercial property to relocate some departments.

Impacts: Requires substantial upfront capital or debt financing and shifts responsibility for maintenance, taxes, and long-term building management to the City.

4. Shorter-Term Lease Option (3-5 Years)

Negotiate a shorter lease term to maintain flexibility.

Impacts: Likely higher annual lease rate, reduced tenant improvement allowances, and less long-term cost predictability.

5. Hybrid Remote Work Expansion

Expand remote work policies to support flexible space needs.

Impacts: May not be operationally feasible for all departments and does not fully address space needs for public-facing services or collaborative workgroups.

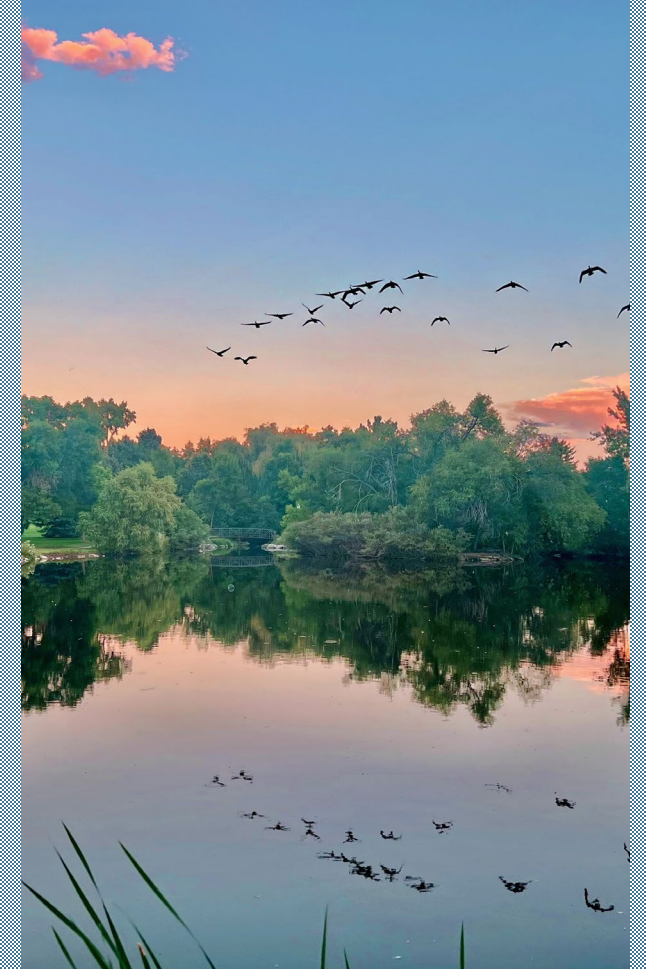
CITY WORKSPACE UPDATE

Public Works Department

Julie Rotter, Facilities Manager

Brent Soderlin, Director of Public Works & Utilities

JUNE 16, 2026

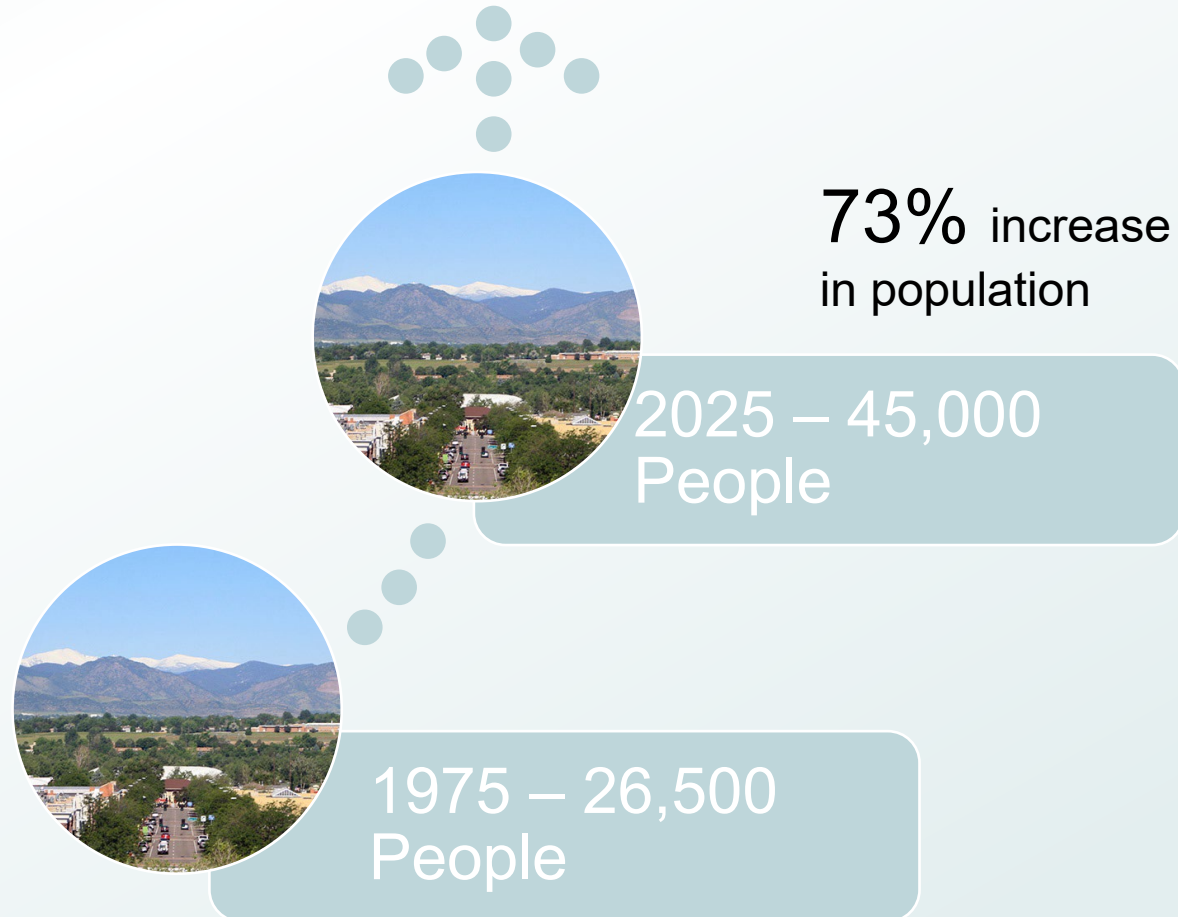


AGENDA

- City and Staff Growth Overview
- Littleton Center Capacity & Operational Impacts
- Lease Options & Cost Comparison
- Next Steps and Recommendation
- Questions

CITY GROWTH

- Over the last 50 years, Littleton has experienced steady population growth and evolving service expectations. As the community has grown from approximately 26,500 residents in 1975 to roughly 45,000 today, the City's operational and facility needs have also evolved.



STAFF GROWTH

- 1975 – 166 employees
- 2025 – 351 Employees
- 111% increase in Employees
- Expansion of modern municipal functions including information technology, digital services, economic development, communications, sustainability, and specialized public safety services.






1975 – 166
Employees



2025 – 351
Employees

STAFF GROWTH

Department/Location	1977	2025	% Increase
City Staff at Littleton Center	46	103	126% 
Police Department at Littleton Center	56	123	117% 
City Staff at Other Locations	64	125	125% 
Totals	166	351	

LITTLETON CENTER

1975 Original City Center

2010: PD Expansion

1981: FD Expansion

2015-2025: Growth in Personnel

Original City Center

- 2 floors
- 100 occupants
- Total sf = 56,000

FD Expansion

- 2 floors
- Added 8,520 sf
- Total sf = 64,520

Modernization & Expansion

- Add 36,000 sf for PD
- Reduced LC staff Space from 56K sf to 53.4K sf
- Total sf = 100,520

Personnel Surge

- Significant increase in staffing to support public safety and community policing initiatives.
- 226 Employees (PD + LC)

LITTLETON CENTER

Growth

- Growing staff versus shrinking footprint
- Staff increase 124% (46 to 103)
- Total space decreased from 56,000 to 53,400 square feet
- Office space decreased 50% per person

Space

- Subdivided 11 offices into 22
- Converted 4 conference rooms to offices (9 down to 5)
- Increased workstations from 34 to 77
- Implemented shared workstation procedures
- Building layout is inefficient (Circulation takes up to much space)

LITTLETON CENTER

Operational Reality

- City-owned administrative facilities are operating at or near full capacity
- Limited ability to accommodate future staffing or operational growth

Impacts

- Reduced meeting and collaborative space impacts daily operations
- Workspace increasing less convenient and inviting for employees
- No remaining internal swing space within the Littleton Center as other facility construction occurs.



BRIDGE STRATEGY

Today's Reality

- Littleton Center at capacity
- No remaining swing space
- Reduced collaboration areas
- Immediate need for additional office space to meet operations needs.

Strategic Response

- Leasing as a Strategic Bridge
- Faster implementation than facility expansion or reno.
- Avoids major near-term capital investment before completion of broader facilities planning
- Provides operational flexibility as future space needs are determined

Future Plan

- Facilities Master Plan (2026-2027)
- Data driven long term decisions
- Campus and building strategy evaluation
- Avoid premature capital investment

Proposal: "Littleton Development Center"
to be located on the 4th floor of the SMHO / Wells Fargo Building

LEASING OPTION DETAILS

Full-Service Lease

- One all-inclusive rent payment Landlord pays:
Property taxes
- Insurance
- Maintenance & CAM
- Often utilities & janitorial
- Highest cost predictability
- Common in office buildings

Modified Gross Lease

- Base rent + shared operating expenses
- Costs split between landlord and tenant
- Often uses a “base year” expense structure
- Moderate cost predictability
- Common in multi-tenant office properties

Triple Net (NNN) Lease

- Base rent +
 - Property taxes
 - Insurance
 - Maintenance (CAM)
- Tenant usually pays utilities & interior repairs
- Lower base rent
- Highest tenant responsibility
- Common in retail properties



COMPARATIVE LEASE RATES

Price Comparisons of Recent Similar Commercial Office Space for Rent

Location	Cost per SF (\$)	Rental Type
SMHO / "Wells Fargo" Building (Littleton)	\$15.50	Full Service
1241 W Mineral Ave (Littleton)	\$22.00	Full Service
5878 S Rapp Street (Littleton)	\$23.00	Modified Gross
10901 W Toller Drive (Jeffco)*	\$30.00	Triple Net (NNN)
Average Cost per SF	\$22.63	

*Added \$12 per SF for added costs

LEASE DETAILS



Wells Fargo Building Lease

- 9,962 SF (the fourth floor)
- 10 Years at \$15.50 with 3% annual escalation
- Full-Service Lease
- Includes some Tenant Improvement (TI) allowance for new carpet, paint, and some wall work.

10 Year Lease Option		
Year	Cost per SF (\$)	Total Cost Per Year (\$)
2026	\$15.50	\$154,411.00
2027	\$15.97	\$159,093.14
2028	\$16.45	\$163,874.90
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2035	\$20.23	\$201,531.26
2036	\$20.84	\$207,608.08
Total Cost over 10 Years =		\$1,978,154.34

NEXT STEPS:

- Letter of Intent (LOI) with SMHO to lease space.
- Negotiate and sign a 10-year full-service lease for approximately 9,962 square feet in the Wells Fargo building at \$15.50 per square foot with a 3% annual escalation.
- Design space, coordinate with SMHO on tenant finish requirements and order furniture, fixtures and equipment (FF&E).
- Coordinate workspace transition and communicate change to community.

RECOMMENDATION

Authorize City Manager to sign Letter of Intent (LOI) with SMHO to lease space generally pursuant to terms outlined in this presentation.

LITTLETON CENTER

Questions?



Staff Communication

File #: ID# 26-134, **Version:** 2

Agenda Date: 04/07/2026

Subject:
2026 Budget Update and 2027 Budget Process overview and Policy Goals Discussion

From:	James L. Becklenberg, City Manager
Prepared by:	Laurie Matta, Finance Director Kevin Orton, Budget Manager
Presentations:	Kevin Orton, Budget Manager

PURPOSE:

Informational briefing updating City Council on preliminary 2025 actuals, an update to the 2026 budget and five-year model, briefing on the 2027 budget process and policy discussion, and an update on the Priority Based Budgeting Process.

LONG-TERM OUTCOME(S) SERVED:

High-Quality Governance

DISCUSSION:

This briefing will provide City Council a budget update:

- Budget and five-year model update
- 2027 budget process and policy discussion
- Update on the Priority Based Budgeting process

Budget and five-year model update

An informational briefing will be provided to City Council on an update to the 2026 budget and five-year model.

2027 budget process and policy discussion

The City Charter requires the City Manager to present the annual proposed budget by September 15th and City Council is required to adopt the budget 30 days prior to the beginning of the fiscal year. This briefing will include a discussion on the budget strategy for 2027 budget planning.

Update on the Priority Based Budgeting process

The City launched Priority Based Budgeting (PBB) in 2017 to enhance the connection of budget to with Council priorities. The program was paused in 2022 to focus on completing Horizon 2027 and implementing the Workday ERP, based on competing workload requirements for these initiatives and workload that would be required to advance PBB to the next steps of functionality for the organization.

Since then, the City continued applying PBB principles, voters approved new funding sources and subsequent

programs (Capital Improvement Sales Tax, Lodgers Tax, and an additional dedicated Marijuana Tax), completing the Horizon 2027 Strategic Plan, undertaking the Project Downtown public engagement process, implementing a new procurement policy, ERP (Workday) implementation, developing a Project Management Information System (PMIS), and identifying delivery methods and funding mechanisms for major capital projects.

Several current initiatives will further strengthen the organization's capacity: the Workday Finance Tenant Optimization Project, the Project Management Information System (PMIS) development, the Public Works Engineering Re-Imagining Project (completion of this project will inform how staff and funds are allocated across the capital improvement program), and the Transportation Master Plan, which will identify projects and resources needed to address the City's transportation priorities.

The goal remains to integrate budgeting processes with the City's strategic plan. As the city has grown and added new funding resources, it has evolved beyond the original PBB model. PBB is one method for connecting the budget to decision making, but once the aforementioned initiatives are complete, the city will be better positioned to determine the best path forward. At that time, city staff will seek policy direction from City Council to determine whether to return to PBB or adopt a different budgeting approach.

BACKGROUND:

An integral part of the city's budget planning process is the simultaneous development of a five-year model to ensure long-term financial stability. The five-year model has been updated with activity since the 2026 adopted budget.

- 2025 actuals and carry forward
- Revised large retail development revenue

2025 Actuals and Carry Forward

The fiscal year for 2025 was from January 1 to December 31. During the 2026 budget process, the city estimates revenues and expenditures for 2025 to determine available fund balance for 2026 budget planning. After December 31 of each year, the Finance Department works to close the fiscal year to in accordance to General Accepted Account Principles (GAAP). All actuals are then audited by an independent auditing firm. Actuals in this briefing are currently unaudited and may be adjusted after this briefing upon completion of the independent audit.

On April 21, 2026, the 2026 budget was amended to add \$1.2 million of 2025 remaining encumbrances and other carryforwards.

Revised large retail development revenue

During the 2026 budget, the city planned revenue for the new mineral place development to begin August 2026. However, due to delays in construction, the city has adjusted the projection to April 2027.

Prior Actions or Discussions

The 2026 budget was adopted by City Council on October 21, 2025.
The 2026 budget was amended on April 21, 2026.

FISCAL IMPACTS:

N/A

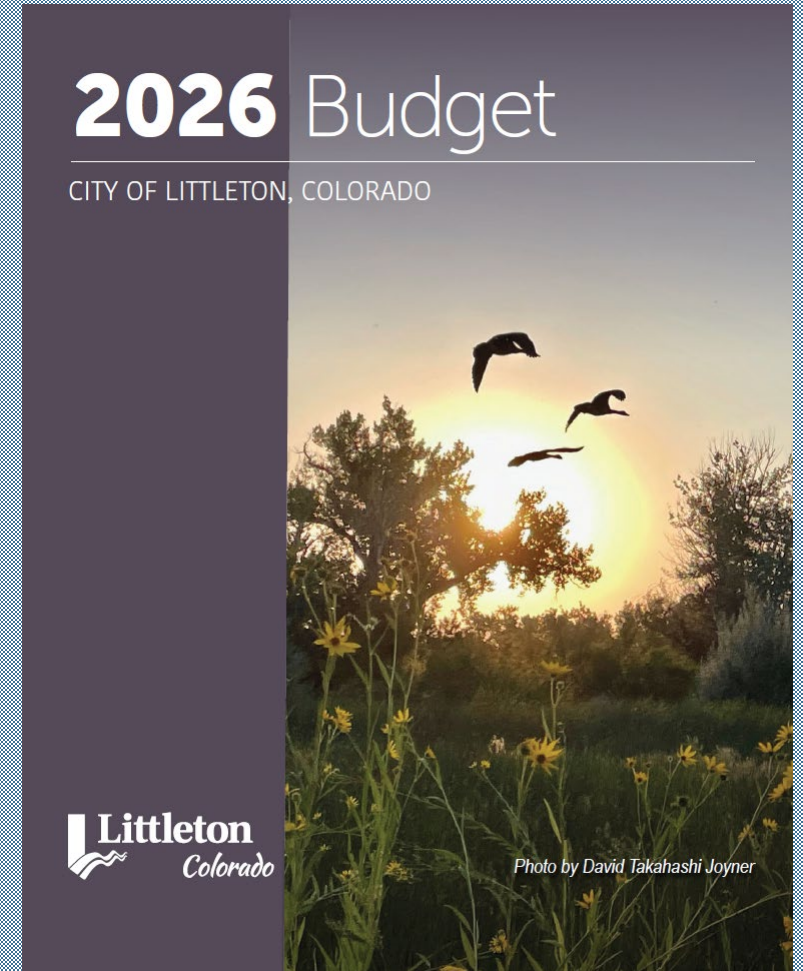
STAFF RECOMMENDATION:

N/A

2026 GENERAL FUND UPDATE

Kevin Orton, Budget Manager

JUNE 16, 2026



AGENDA

General Fund Update and Five Year Model

2027 Budget Planning and Schedule

Priority Based Budget Update



GENERAL FUND UPDATE AND 5 YEAR MODEL

GENERAL FUND REVENUES

2025 ESTIMATE VS ACTUALS

Category (\$ in millions)	2025 Estimate	2025 Actuals ¹	Variance	% Change
Sales & Use Tax	\$45.9	\$46.0	\$0.1	0.28%
Property Tax	2.5	2.5	0	0.0%
Licenses & Permits	2.3	2.1	(0.2)	(8.6%)
Charges for Service	3.0	2.8	(0.2)	(6.6%)
All Other Categories	5.4	5.3	(0.1)	(18%)
Total	\$59.1	\$58.7	\$(0.4)	0.1%

¹2025 Actuals are unaudited and are subject to change until completion of the annual audit

GENERAL FUND EXPENDITURES

2025 ESTIMATE VS ACTUALS

Category	2025 Budget	2025 Estimate	2025 Actuals ¹	Variance to Budget	Variance to Estimate
Personnel	\$43.2	\$43.6	\$43.1	\$0.1	\$0.5
NonPersonnel	17.7	16.0	14.1	\$3.5	1.8
Transfer to Capital Projects	1.8	1.8	1.8	0	0
Total	\$62.7	\$61.4	\$59.1	\$3.6	\$2.3
Reserve for 2025 CarryForward	0	0	\$1.2	(\$1.2)	(\$1.2)
Net Totals	\$62.7	\$61.4	\$60.3	\$2.4	\$1.1

¹2025 Actuals are unaudited and are subject to change until completion of the annual audit

GENERAL FUND UPDATE

2025 BUDGET VS ACTUALS

2025 Results
(Estimate included in 2026 Budget Planning)

Revenues

Estimate	Actuals	Variance
\$59.1	\$58.7	\$(0.4)

Expenses

\$61.4	\$59.1	\$2.3
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Gross Additional Funds \$1.7

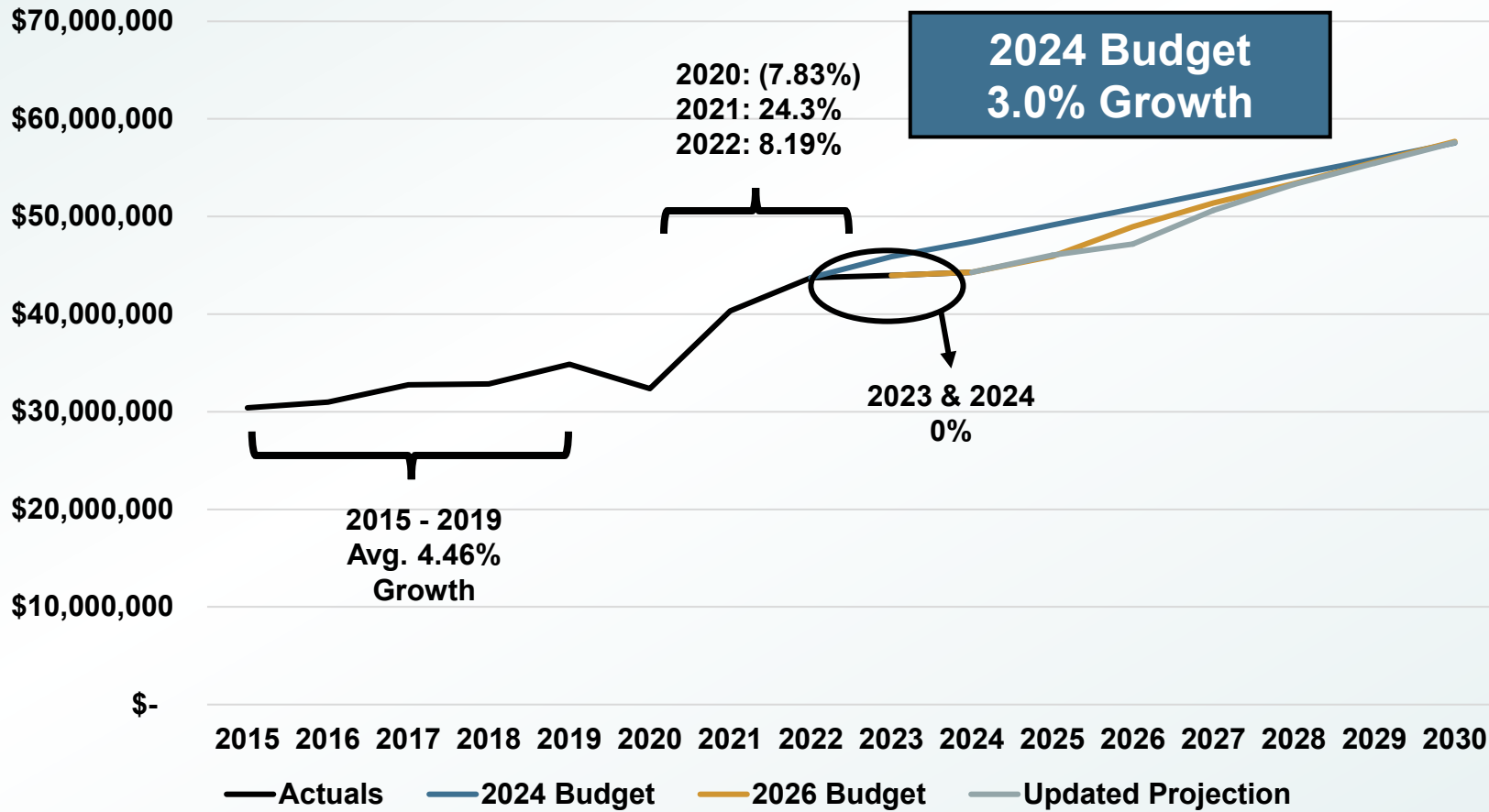
Gross Additional Funds \$1.7

Reserve for 2025 CarryForward \$(1.2)

Additional Funds to 2026 \$0.5

Net \$500,000, or less than 1%, additional fund balance going into 2026

SALES TAX TREND AND IMPACT



Year	Revised Growth (exclude Mineral Place)	Mineral Place Planned	Mineral Place Revised
2025	4.0%		
2026	2.5%	\$1.7	
2027	3.4%	\$2.8	\$2.1
2028	4.0%	\$3.1	\$3.1
2029	4.0%	\$3.3	\$3.3
2030	4.0%	\$3.5	\$3.5

- Planned Costco Opening: August 2026
- Revised Planned Opening: April 2027
- Approx. \$2.4 million loss of planned revenue

REVISED GENERAL FUND 5 YEAR MODEL

(\$ in millions)	2025 Estimate	2025 Actuals ¹	2026 Revised Budget	2027 Projection	2028 Projection	2029 Projection	2030 Projection
Beginning Available Balance	\$21.4	\$21.4	\$20.9	\$14.4	\$12.2	\$10.5	\$7.1
Revenue	59.1	58.7	59.6	64.7	67.5	68.2	70.4
Operating Expenditures	57.7	56.5	64.3	65.0	67.2	69.5	71.8
2025 CarryForward		1.2	(1.2)				
<i>Revenues vs Operating Exp.</i>	<i>\$1.4</i>	<i>\$1.1</i>	<i>\$(3.5)</i>	<i>\$(0.4)</i>	<i>\$(0.3)</i>	<i>\$(1.7)</i>	<i>\$(1.4)</i>
One Time Expenses	1.8	\$0.8	0.3				
Transfers to Capital Projects Fund	\$1.8	\$1.8	\$1.9	1.9	2.0	2.0	2.1
<i>Total Change in Fund Balance</i>	<i>(2.2)</i>	<i>(0.4)</i>	<i>(6.6)</i>	<i>(2.2)</i>	<i>(1.7)</i>	<i>(3.3)</i>	<i>(3.5)</i>
Ending Balance²	\$19.2	\$20.9	\$14.4	\$14.0	\$12.5	\$9.5	\$6.5
% of Fund Balance to Operating Expenses	16%	36%	23%	19%	16%	10%	5%

¹All 2025 Actuals are unaudited and subject to change

²Includes reserve for 2025 CarryForward of \$1.2 Million

2027 BUDGET PLANNING AN



2027 BUDGET PLANNING

2027 Financial Planning Goals

Operating Expenditures do not exceed revenues.

% of Fund Balance to Operating Expenses at 18%-25% in 2027-2031

No personnel layoffs

Reduction in budget lines with historic unspent budget

Identify eligible restricted fund capacity for General Fund expenditures

2027 Impact

\$2.2 million reduction of ongoing budget

Reductions may impact programs no longer in line with current strategic priorities

Positions may be held vacant longer

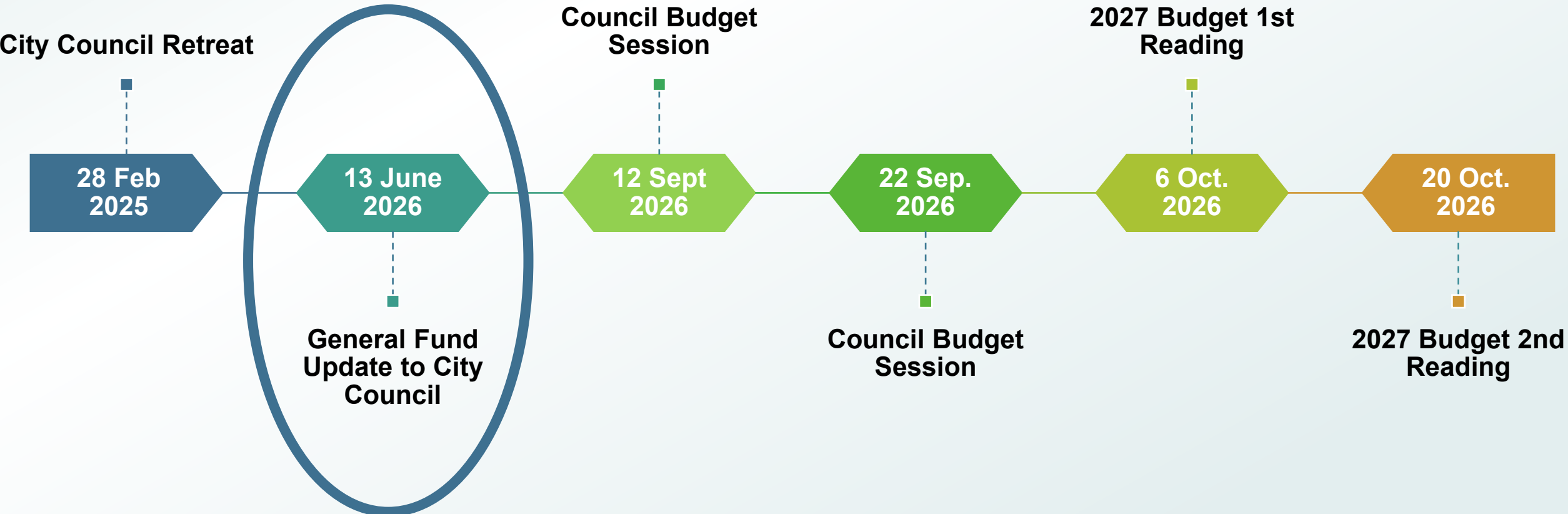
New programs & initiatives = reduction in current programs & initiatives

Capacity for unplanned projects will be reduced

EXAMPLES OF 2027 EXISTING KEY PROJECTS

- Project Downtown - Main Street Improvements Design
- Transportation Master Plan
- Safer Streets Implementation and Expansion
- Blueprint Boulevard Planning Process
- Facilities Master Plan completion and project prioritization
- 2027 ballot question(s) planning and community engagement
- Geneva Village redevelopment planning
- Belleview Service Center Design
- Climate Risk and Vulnerability Assessment / Climate Action Plan
- Ketring Lake planning and community outreach
- Rangeview Gulch Hydraulic Study
- ULUC Amendments, per Planning Commission and City Council
- Waste Diversion: Implementation of Hauler Licensing and Equal Space ordinance

2027 BUDGET MEETINGS





CONNECTING
BUDGET WITH
COMMUNITY
GOALS

PRIORITY BASED BUDGET

What is Priority Based Budgeting?

- Software and process that helps connect the budget to strategic priorities
- Created by Tyler Technologies
- One of many different tools and methods to connect strategic priorities to budget

Why did use Priority Based Budgeting?

- Enhance decision making and high-quality governance within the budget process
- Began in 2017: city-wide effort involving all department directors and select staff
- Paused in 2022

Why did the city pause Priority Based Budgeting?

- Implement new ERP (Workday)
- Develop Horizon 2027
- Both are necessary to implement Priority Based Budgeting
- Recent focus has been connecting City budget initiatives with Horizon 2027 Strategic Plan

TIMELINE OF CITY-WIDE STRATEGIC & BUDGET INITIATIVES¹⁶

2017

2018

2019

2020

2021

2022

2023

2024

2025

2026

2027

2028

Priority Based Budget Process

Workday ERP

Workday Fin
Optimization

LFD to SMFR

PMIS

Horizon 2027

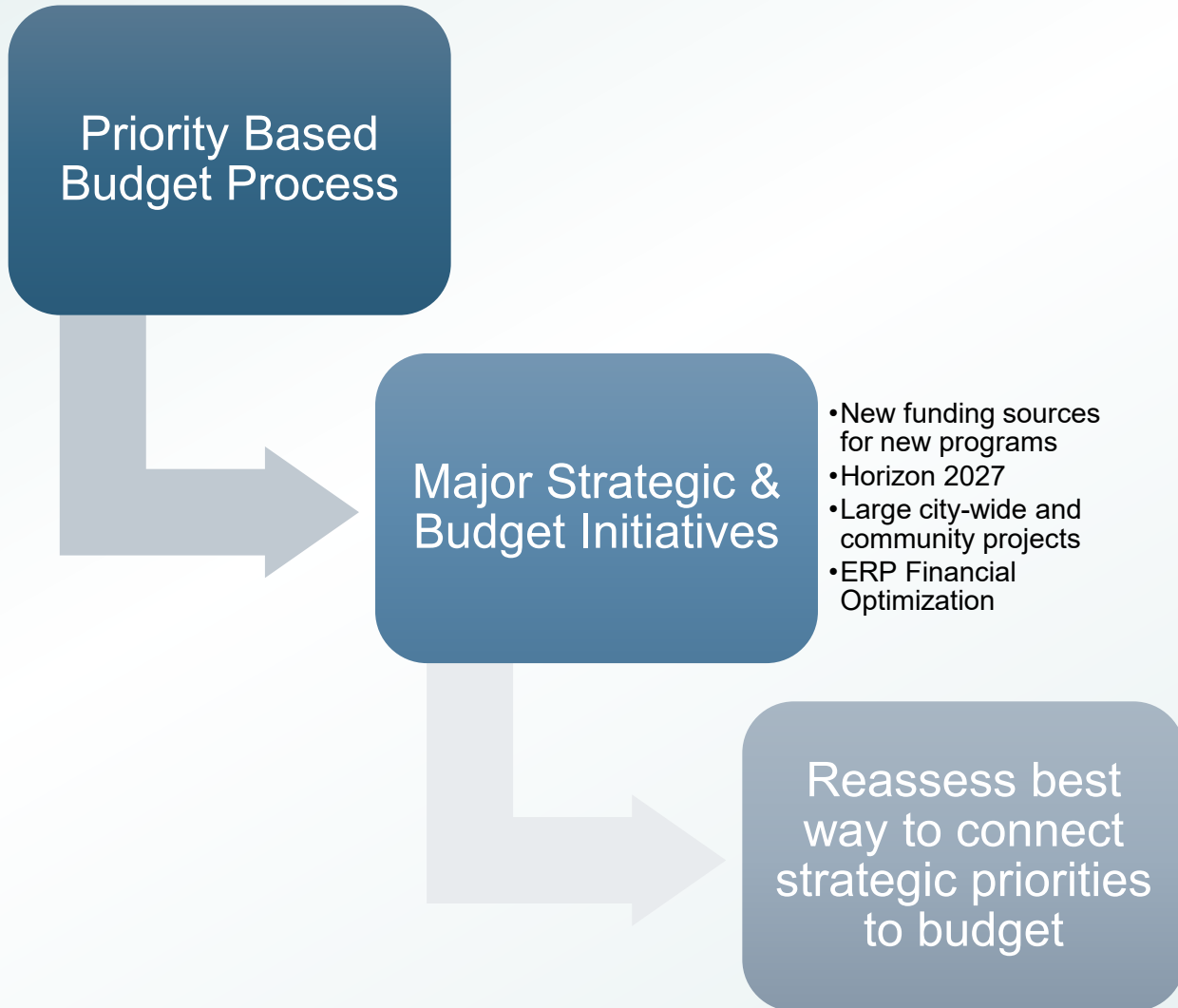
Budget alignment with strategic plan

City Procurement Optimization

PW Eng.
Reimagine

Major Leadership Transitions: City Manager, Finance
Director, Public Works Director, Police Chief

Summary



Future Budget Plan

City-wide effort will begin approximately January 1, 2028

PMIS, Workday Financials, and Public Works Engineer Reimagining will have major impact

City Council will be given the opportunity to provide input on which method aligns best with Littleton

Continue to adjust current budget process as needed

Different Budgeting Methods

- Priority Based
- Outcome Based
- Target Based
- Program Based
- Zero Based
- Combination of multiple methods

SUMMARY

- 2025 ended with an additional \$500,000 or less than 1% different than anticipated
- The General Fund is structurally unbalanced and adjustments to the budget are needed to stay within the city's financial policy
- 2027 budget planning strategy to close gap
 - Targeted adjustments
 - Realigning non-personnel budgets
 - Managing vacancies
 - Shifting General Fund expenses to available restricted funds
- City's priority based budget process informed current high-quality governance initiatives
 - After current initiatives are complete, City will re-evaluate best way to connect strategic priorities to the budget process

CITY COUNCIL DISCUSSION

Support for 2027 Budget policy goals?

- Preserve existing service levels and committed projects
 - No new services or major enhancements
- Retain and continue development of existing staff
- No layoffs
- No new staff in General Fund
 - Ensure adequate capital project management
- Reduce spending:
 - Manage (hold) vacancies longer equitably across departments
 - Reduce non-personnel budget line-items
- Maintain General Fund reserves at levels set by policy

QUESTIONS?



Staff Communication

File #: Ordinance 16-2026, **Version:** 2

Agenda Date: 06/16/2026

Subject:

Ordinance 16-2026: An ordinance on second reading amending Title 4, Building Regulations, Chapter 1 Building Codes, by adding Section (B)(33) Single Exit for Group R-2 Buildings

From:	James L. Becklenberg, City Manager
Prepared by:	Reid Betzing, City Attorney Tim Steinwinder, Chief Building Official
Presentations:	N/A

PURPOSE:

The purpose of this agenda item is to consider adoption of an ordinance amending the City’s building code to comply with Colorado House Bill 25-1273, “Residential Building Stair Modernization,” which requires qualifying municipalities to permit certain multifamily residential buildings up to five stories in height to be served by a single exit stairway, subject to specified life-safety and design standards.

LONG-TERM OUTCOME(S) SERVED:

High-Quality Governance

DISCUSSION:

During the 2025 legislative session, the Colorado General Assembly adopted House Bill 25-1273, which became law on May 13, 2025. The legislation requires municipalities with populations exceeding 100,000 residents and served by accredited fire protection agencies to amend their building codes no later than December 1, 2027, to allow qualifying multifamily residential buildings with a single exit stairway.

Although the City of Littleton does not have the population to reach the mandate, the City has evaluated the legislation as a potential tool to support housing diversity, affordability, and infill redevelopment goals identified in adopted City planning documents.

Traditional U.S. building codes generally require multifamily buildings above three stories to provide two exit stairways. HB25-1273 permits up to five stories with a single stairway where enhanced fire protection measures are provided, including sprinkler systems, smoke control measures, fire-resistance standards, and limitations on the number of dwelling units per floor.

Single-stair building forms are commonly used internationally and in select U.S. jurisdictions to facilitate smaller-footprint apartment buildings, improve unit layouts, increase access to natural light and ventilation, and reduce construction costs associated with redundant circulation areas.

Highlights of the proposed ordinance are as follows:

- The code would only apply to R-2 multifamily buildings.
- The proposed code would not change any existing limits to density, lot coverage, parking requirements, or height of structures.
- Buildings using this code would be limited to 5 stories in height.
- Only Type I, II, or IV construction is allowed. Type III, and V are prohibited.
- Single Stair buildings would be required to have sprinklers throughout, including stair landings.
- Travel distance from Unit doors to stair access is limited to 20 feet, and travel distance from any point in any unit of the building cannot exceed 125 feet to stair access.
- Each floor of the building is limited to 4 Units maximum.
- The single stairway has a minimum width of 48”, or 54” for larger floor plans greater than 4000 sq. ft. but smaller than 6000 sq. ft.
- The single staircase enclosure is required to maintain a 2 hour fire resistance regardless of construction type.
- Common areas must have smoke detection and systems maintained under NFPA 72.
- Elevator and stair enclosures require smoke control systems subject to Building and Fire review.
- Emergency escape openings are required on every floor.
- Fire department access must be maintained, including aerial apparatus access, roofline access, fire lanes, turning radii, hydrant, grades, and unobstructed deployment, subject to initial and periodic Fire review.
- Early data suggests that eliminating a second staircase can save 10% on construction costs. Extra fire provisions increase cost by 3%, for a realized savings of 7%.

Prior Actions or Discussions

At Council’s retreat and in our recent review of the Council retreat, Council expressed interest in bringing forward an ordinance that could accommodate single stair exit design.

This ordinance passed on first reading on June 2, 2026.

FISCAL IMPACTS:

N/A

ALTERNATIVES:

Decline to not adopt the measure at this time until more study can be done to impacts to existing infill. It is also believed that the next iteration of the IBC in 2027 will be addressing single stair requirements.

PROPOSED MOTION:

I move to approve Ordinance 16-2026 on second reading amending Title 4, Building Regulations, Chapter 1 Building Codes, by adding Section (B)(33) Single Exit for Group R-2 Buildings.

47 **“B. (33) Single Exit for Group R-2 Buildings.**
48

49 **A. Scope.** A building containing a group R-2 occupancy may be served by a single exit
50 stairway only where the building complies with this section and all other applicable
51 provisions of the adopted International Building Code, International Fire Code,
52 International Existing Building code, adopted local amendments, and all other applicable
53 city ordinances and regulations. Nothing herein shall be construed to authorize any use,
54 density, height, lot coverage, parking reduction, or site condition that is not otherwise
55 permitted by the City’s zoning, land use, subdivision, engineering, access, fire, or
56 development regulations.
57

58 **B. Applicability.** A single exit or access to a single exit shall be permitted from any story or
59 occupiable roof where one of the following conditions exists:
60

- 61 1. The occupant load, number of dwelling units and exit access travel distance do not
62 exceed the values in Table 1006.3.4(1) or 1006.3.4(2).
63
- 64 2. Rooms, areas and spaces complying with Section 1006.2.1 with exits that discharge
65 directly to the exterior at the level of exit discharge, are permitted to have one exit or
66 access to a single exit.
67
- 68 3. Parking Garage where vehicles are mechanically parked shall be permitted to have one
69 exit or access to a single exit.
70
- 71 4. Group R-3 and R-4 occupancies shall be permitted to have one exit or access to a single
72 exit.
73
- 74 5. Individual single-story or multistory dwelling units shall be permitted to have a single
75 exit or access to a single exit from the dwelling unit provided that both of the following
76 criteria are met:
 - 77 5.1. The dwelling unit complies with Section 1006.2.1 as a space with one means of
78 egress.
79
 - 80 5.2. Either the exit from the dwelling unit discharges directly to the exterior at the level
81 of exit discharge, or the exit access outside the dwelling unit’s entrance door provides
82 access to not less than two approved independent exits.
83
- 84 6. Group R-2 occupancies containing or accessory to dwelling units shall be permitted to
85 have a single exit provided that the following criteria are met through the building:
86

87 **A. Maximum Height and Occupancy Limitations.**
88

89 The building has no more than five stories above grade plane without an occupiable
90 roof or four stories above grade plane with an occupiable roof and has no more than
91 one basement. per
92

93 **B. Dwelling Units Per Story.**

94 There are no more than four dwelling units per story.
95
96

97 **C. Construction Type.**

98 The building is of Type I, II, or IV construction.
99
100

101 **D. Automatic Sprinkler Protection.**

102 An automatic sprinkler system in accordance with Section 903.3.1.1 shall be
103 provided throughout the building. The building shall be protected throughout by
104 an automatic sprinkler system designed and installed in accordance with the
105 adopted International Building code and International Fire Code. Regardless of the
106 stairway construction, automatic sprinkler locations in an interior exit stairway
107 shall comply with requirements of NFPA 13 for stairways of combustible
108 construction.
109
110

111 **E. Travel distance.**

- 112
- 113 1. Travel distance from each dwelling unit entry door to the exit shall not
114 exceed twenty (20) feet.
115
 - 116 2. Travel distance from any point within a dwelling unit to the exit stairway
117 shall not exceed one hundred twenty-five (125) feet.
118

119 **F. Gross Floor Area.**

120 The gross floor area of each story shall not exceed 6,000 square feet.
121
122

123 **G. Floor Area and Stairway Width.**

- 124
- 125 1. The width of the exit stairway shall be not less than 48 inches where serving a
126 gross floor area of a story that does not exceed 4,000 square feet and not less
127 than 54 inches where serving a gross floor area of a story greater than 4,000
128 square feet but less than 6,000 square feet.
129
 - 130 2. The Building Official and Fire Code Official may require additional stairway
131 width where necessary based on occupant load, firefighting operations,

132 stretcher access, simultaneous ingress and egress, or other site-specific life-
133 safety conditions.

134
135 **H. Emergency Escape and Rescue Openings.**

136
137 Each dwelling unit shall have a minimum of one emergency escape and rescue
138 opening that complies with Sections 1031.2.1 through 1031.6 and opens directly
139 into a public way or to a yard or court that opens to a public way. At least one
140 emergency escape and rescue opening per story shall be located on a side of the
141 building that is not greater than 30 feet from the nearest edge of a fire apparatus
142 access road.

143
144 **I. Corridor Fire-Resistance Rating.**

145
146 Corridors shall have a fire-resistance rating of not less than 1 hour and shall not be
147 used for storage, including storage of deliveries, trash, and recycling.

148
149 **J. Exit Stairway Construction.**

150
151 The exit stairway shall be constructed in accordance with the adopted International
152 Building Code and shall comply with all of the following:

- 153
- 154 1. The exit stairway enclosure shall be enclosed with not less than two-hour
155 fire-resistance-rated construction, regardless of construction type.
 - 156
 - 157 2. The exit stairway shall be designed to allow simultaneous occupant egress
158 and firefighter ingress.
 - 159
 - 160 3. The exit stairway shall discharge in accordance with the adopted
161 International Building Code.
 - 162
 - 163 4. Penetrations, joints, ducts, openings, dampers, doors, frames, hardware,
164 firestopping, and continuity of the stair enclosure shall comply with the adopted
165 International Building Code and applicable referenced standards.
 - 166

167 **K. Electrical Receptacles.**

168
169 Electrical receptacles shall not be provided in an interior exit stairway, common
170 corridor, or lobby.

171
172 **L. Passive and Active Fire Protection Maintenance.**

173
174 All passive and active fire protection features throughout the building, including
175 dwelling units, shall be inspected, tested, and maintained in accordance with the

176 adopted International Fire Code, adopted International Building Code, referenced
177 standards, and this section.

178
179 The owner shall retain a third party approved by the Building Official or Fire Code
180 Official to periodically inspect and document the condition and maintenance of
181 required fire protection features, including but not limited to:

- 182
- 183 1. Fire-resistance-rated assemblies;
- 184
- 185 2. Fire doors, door closers, latching hardware, and smoke seals;
- 186
- 187 3. Firestopping and fireblocking;
- 188
- 189 4. Sprinkler systems;
- 190
- 191 5. Fire alarm and smoke detection systems;
- 192
- 193 6. Stairway pressurization or smoke control systems where required;
- 194
- 195 7. Emergency lighting and exit signs;
- 196
- 197 8. Fire department access systems;
- 198
- 199 9. Key boxes and access-control systems; and
- 200
- 201 10. Any other life-safety system required by the adopted codes or approved
202 construction documents.
- 203

204 Inspection frequency shall be as required by the Fire Code Official, but shall not be less
205 than annually unless a shorter interval is required by code, approved plans, or the Fire
206 Code Official.

207
208 **M. Fire Department Access and Key Access.**

209 A fire-resistant key box shall be provided in a location approved by the Fire Code
210 Official. The key box shall contain keys or approved access devices necessary to access
211 the building, common areas, service areas, fire protection equipment rooms, and each
212 dwelling unit or other areas as required by the Fire Code Official. A permanent sign
213 shall be provided at a location approved by the Fire Code Official indicating that the
214 building is served by a single exit stairway. The sign shall be durable, weather-resistant
215 where exposed, and of a size and design approved by the Fire Code Official.

216
217 **N. Smoke Control Systems.**

218

219 Elevator enclosures and exit stairway enclosures in a building using the single-exit
220 provisions of this section shall all be provided with smoke control systems in
221 accordance with the adopted International Fire Code.
222

223 Smoke control systems required by this section shall be designed, installed, tested,
224 commissioned, inspected, and maintained in accordance with the adopted
225 International Fire Code, the adopted International Building Code, and all
226 applicable referenced standards.
227

228 Construction documents submitted for a building using the single-exit provisions of
229 this section shall include smoke control system design information acceptable to the
230 Building Official and Fire Code Official, including, where applicable, design criteria,
231 system operation, special inspection requirements, acceptance testing procedures,
232 commissioning documentation, and ongoing inspection, testing, and maintenance
233 requirements.
234

235 **O. Elevator Shafts.**
236

237 Elevators serving a building using the single-exit provisions of this section shall
238 be located within two-hour fire-resistance-rated shaft enclosures in accordance
239 with the adopted International Building Code
240

241 **P. Fire Apparatus Access.**
242

243 Prior to permit issuance, the applicant shall demonstrate to the satisfaction of the Fire
244 Code Official, Building Official, and City Engineer that fire apparatus access complies
245 with the adopted International Fire Code, locally adopted fire access standards, and this
246 section.
247

248 The site design shall demonstrate all of the following:
249

- 250 1. Aerial apparatus can reach the highest point of the building;
251
- 252 2. The site allows direct vertical access to the roofline and all upper floors from at
253 least one approved aerial access side using aerial apparatus deployed from
254 ground level;
255
- 256 3. Aerial apparatus access, deployment, and positioning are unobstructed;
257
- 258 4. Fire lanes, turning radii, fire department access roads, grades, surface loading,
259 hydrant locations, and access-control systems comply with applicable requirements;
260 and
261

262 5. Landscaping, overhead utilities, projections, parking, private improvements, and
263 site furnishings do not obstruct required fire department access.

264
265 Approval under this section shall be coordinated with the applicable fire protection
266 district, fire department, or fire authority.

267
268 **Q. Lease and Owner Inspection Requirements.**

269
270 For any building constructed under this section, the building owner, landlord, or
271 manager shall conduct inspections of dwelling units in addition to required third-party
272 inspections.

273
274 Lease agreements for dwelling units shall include permission for inspections necessary
275 to verify continued compliance with required fire protection, life safety, access, and
276 maintenance provisions.

277
278 Nothing in this section shall be construed to limit the City's inspection authority under
279 the adopted codes or applicable law.

280
281 **R. Continuing Maintenance and Operational Requirements.**

282
283 The owner shall maintain the building, site, access routes, fire protection systems, and
284 life-safety features in continuous compliance with the approved construction
285 documents, the adopted International Fire Code, the adopted International Property
286 Maintenance Code, this section, and all applicable City requirements.

287
288 Failure to maintain required features may constitute a violation of this code and may
289 result in enforcement action, including correction notices, orders, penalties, suspension
290 of certificates of occupancy where authorized, or other remedies available under law.

291
292 **S. Legal Occupancy Status.**

293
294 A building lawfully permitted and constructed under this section shall retain its legal
295 occupancy status even if a future building code adopted by the City would not allow
296 the same building to be newly constructed with a single exit.

297
298 If such building is damaged or destroyed, reconstruction may be allowed in accordance
299 with the standards in effect when the original construction permit was issued, subject
300 to all of the following:

- 301
302 1. Compliance with applicable accessibility requirements, including the federal
303 Americans with Disabilities Act where applicable;

304

- 305 2. Compliance with current floodplain and National Flood Insurance Program
306 requirements where applicable;
307
308 3. Compliance with current structural design loads and structural safety requirements
309 for any structural modifications;
310
311 4. Compliance with state or local building codes that enhance health, safety, welfare,
312 or energy efficiency; and
313
314 5. Compliance with any applicable local fire, access, zoning, land use, engineering, or
315 site-development requirements.
316

317 **T. Annual Reporting.**
318

319 The Building Official is authorized to collect and maintain information necessary to
320 report single-exit building activity to any state office or agency, if required by state
321 law.
322

323 For each permit issued under this section, the City may collect and maintain the
324 following information:
325

- 326 1. Number of dwelling units;
327
328 2. Number of stories;
329
330 3. Gross building area;
331
332 4. Construction type;
333
334 5. Fire protection systems provided;
335
336 6. Number and type of emergency incidents reported for the building, including fire
337 and medical calls where available from the relevant emergency dispatch center; and
338
339 7. Any other information required by state law or requested by the City Manager.
340

341 **U. Additional Code Authority Preserved.**
342

343 Nothing in this section shall prevent the City, the Building Official, the Fire Code
344 Official, the City Engineer, or the applicable fire protection district, fire department, or
345 fire authority from applying and enforcing:
346

- 347 1. The adopted International Building Code;
348

- 349 2. The adopted International Fire Code;
- 350
- 351 3. The adopted International Existing Building Code;
- 352
- 353 4. Referenced standards;
- 354
- 355 5. Locally adopted fire and life-safety codes;
- 356
- 357 6. Emergency vehicle access requirements;
- 358
- 359 7. Fire hydrant spacing requirements;
- 360
- 361 8. Landscape clearance requirements;
- 362
- 363 9. Engineering and public works standards;
- 364
- 365 10. Zoning and land use regulations; or
- 366
- 367 11. Other applicable ordinances, regulations, or laws.
- 368
- 369

370 **Section 2:** Severability. If any part, section, subsection, sentence, clause or
371 phrase of this ordinance is for any reason held to be invalid, such invalidity shall not affect the
372 validity of the remaining sections of this ordinance. The City Council hereby declares that it would
373 have passed this ordinance, including each part, section, subsection, sentence, clause or phrase
374 hereof, irrespective of the fact that one or more parts, sections, subsections, sentences, clauses or
375 phrases may be declared invalid.

376
377 **Section 3:** Repealer. All ordinances or resolutions, or parts thereof, in conflict
378 with this ordinance are hereby repealed, provided that this repealer shall not repeal the repealer
379 clauses of such ordinance nor revive any ordinance thereby.

380
381
382 INTRODUCED AS A BILL at a regularly scheduled meeting of the City Council
383 of the City of Littleton on the 2nd day of June, 2026, on first reading by a vote of 7 FOR and 0
384 AGAINST; and ordered published by posting at Littleton Center, Bemis Library, the Municipal
385 Courthouse and on the City of Littleton Website.

386 PUBLIC HEARING on the Ordinance to take place on the 16th day of June, 2026,
387 in the Council Chamber, Littleton Center, 2255 West Berry Avenue, Littleton, Colorado, at the

388 hour of 6:30 p.m., or as soon thereafter as it may be heard.

389 PASSED on second and final reading, following public hearing, by a vote of __FOR
390 and ___ AGAINST on the 16th day of June 2026 and ordered published by posting at Littleton
391 Center, Bemis Library, the Municipal Courthouse and on the City of Littleton Website.

392 ATTEST:

393 _____
394 Colleen L. Norton
395 CITY CLERK

Kyle Schlachter
MAYOR

396
397 APPROVED AS TO FORM:

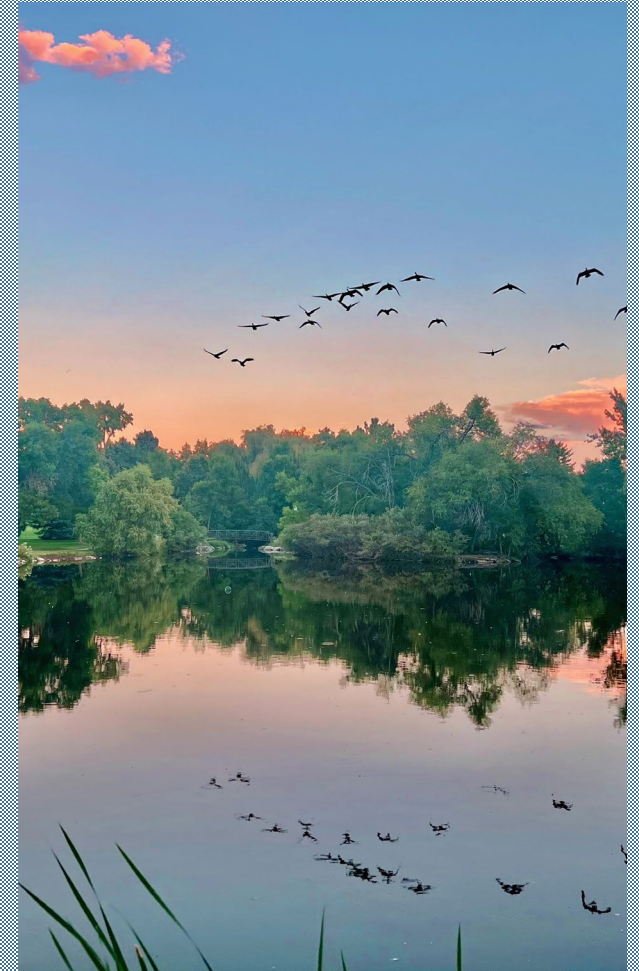
398
399 _____
400 Reid Betzing
401 CITY ATTORNEY



SINGLE STAIR BUILDING CODE

Timothy Steinwinder
Chief Building Official

JUNE 16TH, 2026



AGENDA

- Proposed Amendment
- Staff Analysis brief overview
- Questions

PROPOSED AMENDMENT

Single Stair Building Code

Colorado House Bill 25-1273 requires municipalities with populations in excess of 100,000 persons to adopt or amend building code to allow structures within stated limitations to be served by a single staircase. While the City of Littleton does not fall into this category, adopting a single stair code does create opportunities for developing lots that otherwise would be limited in use.

PROPOSED AMENDMENTS

Significant language within Single Stair code:

- The code would only apply to R-2 multifamily buildings.
- The existence of the code does not usurp any existing code that limits density, lot coverage, parking requirements, or height of structures.
- Buildings using this code would be limited to 5 stories in height.
- Only Type I, II, or IV construction is allowed. Type III, and V are prohibited.
- Single Stair buildings would be required to have sprinklers throughout, including stair landings.
- Travel distance from Unit doors to stair access is limited to 20 feet, and travel distance from any point in any unit of the building cannot exceed 125 feet to stair access.
- Each floor of the building is limited to 4 Units maximum.

PROPOSED AMENDMENTS

Significant language within Single Stair code:

- The single stairway has a minimum width of 48", or 54" for larger floor plans greater than 4000 sq. ft. but smaller than 6000 sq. ft.
- The single staircase enclosure is required to maintain a 2 hour fire resistance regardless of construction type.
- Common areas must have smoke detection and systems maintained under NFPA 72.
- Elevator and stair enclosures require smoke control systems subject to Building and Fire review.
- Emergency escape opening are required on every floor.
- Fire department access must be maintained, including aerial apparatus access, roofline access, fire lanes, turning radii, hydrant, grades, and unobstructed deployment, subject to initial and periodic Fire review.



PROPOSED AMENDMENTS

Significant language within Single Stair code:

- Key box, and access must be provided to common areas, service areas, and dwelling units.
- No storage will be allowed between unit doors and stair access. This includes furniture, bikes, scooters, strollers, packages, trash, or any other possible obstruction.
- Recurring inspection is required for rated assemblies, fire doors, sprinklers, alarms, firestopping, emergency lighting systems, access systems, and other life safety features.
- Lease agreements for the units must allow for periodic inspections to verify continued compliance.
- Buildings constructed under this code retain legal occupancy status even if the code is repealed in the future.



PROPOSED AMENDMENTS

Significant language within Single Stair code:

- The Building Official maintains the right to collect data on units, stories, area, construction type, fire systems, and emergency response history.
- All other code requirements for building, planning, engineering, access, fire hydrant, landscape, and public works are not waived.

STAFF ANALYSIS

- Proposed amendment may create opportunities for development that otherwise may not exist.
- Proposed amendment would allow for greater housing density on smaller lots.
- Proposed amendment and code language has been reviewed by Building, and SMFR.

STAFF ANALYSIS

- Early data suggests that eliminating a second staircase can save 10% on construction costs. Extra fire provisions increase cost by 3%, for a realized savings of 7%.

SUMMARY

- **City staff recommends the approval of Ordinance 16-2026.**
- **Questions?**